



# HISTORIC PRESERVATION PERMIT APPLICATION HPP FOR ALTERATIONS

## GENERAL INFORMATION

Name of Property (if applicable): \_\_\_\_\_

Property Address: \_\_\_\_\_

Property Owner Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Applicant (ex. Architect): \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

## SITE INFORMATION

### Legal Description

Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_

Subdivision: \_\_\_\_\_ Township: \_\_\_\_\_

Range: \_\_\_\_\_ Section: \_\_\_\_\_

Zoning: \_\_\_\_\_ Sq. Footage: \_\_\_\_\_

## APPLICATION CHECKLIST

Please provide one (1) electronic copy (PDF format) of each of the following, and attach all required supporting information to this application:

- \_\_\_ HPP Application
- \_\_\_ Project Narrative
- \_\_\_ National Register Nomination
- \_\_\_ Historic Photographs
- \_\_\_ Detailed Project Site Map and/or Site Plan
- \_\_\_ Exterior Elevations with Descriptions
- \_\_\_ Contemporary Photographs

I hereby attest that the information on this form is accurate and complete.

Applicant Signature:

X. \_\_\_\_\_ Date: \_\_\_\_\_

Owner Signature:

X. \_\_\_\_\_ Date: \_\_\_\_\_





Fred T. Sterling Home-Missoula MT  
Back view, east exposure & south  
Photographer unknown-from Boyle  
collection.

WORDEN & COMPANY NEG

Approximately 1922



Fred T. Sterling HOme-Missoula MT  
Back view, east and north exposure  
Photographer unknown-Boyle  
collection.

WORDEN & COMPANY NEG

Approximately 1922



Fred T. Sterling Home-Missoula MT

Front view

Photographer unknown From Boyle  
Collection.

WORDEN & COMPANY Neg.

Approximately 1922



Fred T. Sterling Home  
Missoula, Montana

Front Elevation

Tomme M. Worden Photo

WORDEN & COMPANY

11/1/82



Fred T. Sterling Home

Missoula, Montana

Back view, east exposure

Tomme, M. Worden Photo

WORDEN & Company, Missoula

11/1/81



Fred T. Sterling Home-Missoula, MT

South elevation

Tomme M. Worden Photo

WORDEN & COMPANY NEG

11/1/82



Fred T. Sterling Home-Missoula, Mt

Window second floor landing

Tomme M. Worden Photo

WORDEN & COMPANY NEG

11/1/82



Fred T. Sterling HOme-Missoula, MT  
Looking through window in origin-  
al dining room--music room in  
background

Tomme M. Worden Photo

worden 7 company neg

11/1/82



Fred T. Sterling Home-Missoula MT  
China closet, main floor dining rm  
Tomme M. Worden photo  
WORDEN & COMPANY NEG  
11/1/82



Fred T. Sterling Home-Missoula MT

Second floor bath

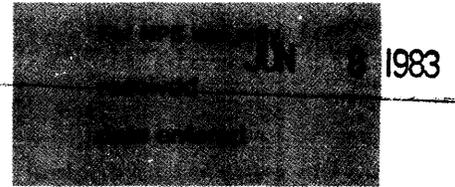
Tomme M. Worden Photograph

WORDEN & COMPANY NEG

11/1/81

United States Department of the Interior  
National Park Service

National Register of Historic Places  
Inventory—Nomination Form



See instructions in *How to Complete National Register Forms*  
Type all entries—complete applicable sections

**1. Name**

historic Sterling, Fred T., House

and/or common Worden Apartment House or Kintner Apartment House

**2. Location**

street & number 1310 Gerald Avenue ~~\_\_\_\_\_~~ n/a not for publication

city, town Missoula n/a vicinity of ~~congressional district~~

state Montana code 030 county Missoula code 063

**3. Classification**

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input checked="" type="checkbox"/> yes: restricted	<input type="checkbox"/> government
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial
	n/a	<input type="checkbox"/> no	<input type="checkbox"/> military
			<input type="checkbox"/> museum
			<input type="checkbox"/> park
			<input type="checkbox"/> private residence
			<input type="checkbox"/> religious
			<input type="checkbox"/> scientific
			<input type="checkbox"/> transportation
			<input checked="" type="checkbox"/> other: apartments

**4. Owner of Property**

name H. O. and Tomme M. Worden

street & number 208 Pattee Canyon Drive

city, town Missoula n/a vicinity of state Montana 59803

**5. Location of Legal Description**

courthouse, registry of deeds, etc. Missoula County Courthouse

street & number West Broadway

city, town Missoula state Montana

**6. Representation in Existing Surveys**

title None has this property been determined eligible?  yes  no

date  federal  state  county  local

depository for survey records

city, town state

## 7. Description

### Condition

excellent  
 good  
 fair

deteriorated  
 ruins  
 unexposed

### Check one

unaltered  
 altered

### Check one

original site  
 moved date \_\_\_\_\_

### Describe the present and original (if known) physical appearance

The Fred T. Sterling home, situated on land purchased in 1910 from the South Missoula Land Company, is located near the University of Montana in Missoula. The two story bungalow style home has a rock faced ashlar masonry foundation, with large ground level muntined windows on all four sides of the basement. The exterior of the main story is faced with amber-rose brick veneer. The second floor and attic areas are half timbered with beige stucco. The front of the house (west facade) has three pane plate glass windows, the center one has the top fourth leaded and the side sash windows are leaded in the top half. These windows are located on both sides of the large covered porch. The entrance door is oak with corresponding stepped partial walls flanking the wooden steps leading to the front entrance.

The house has a hip roof with four gabled dormers with exposed rafter ends. Originally shingled, today the roof is covered with red-toned asphalt shingles. A half drive on the north of the house is covered by a porté cochere. The side porch, which entered into a small entry hall, has been closed in for a room and there is now no direct access from the interior of the porté cochere. There were two leaded glass doors at the east end of the dining room that opened onto a square patio with steps leading down into the yard. This area is closed-in and is used currently as a music room. In the center and on the south-east side exist the original entrances to the kitchen and the basement. Another exit on the south-east was bricked in and this, too, was part of the original kitchen which ran across the east end of the house.

There are two exterior stepped chimneys with corbelled tops. The one on the south side of the house is three flue, serving the billard room fireplace (basement level), the original living room and the master bedroom on the second floor. The billard room fireplace is faced with large lava rock and is impressive in size and decor, trimmed in brass. The main floor fireplaces are pebbled tiles and the master bedroom imported tiles. All fireplace fronts have been painted.

The second floor is reached by a wide stairway that rises to a large landing. To the right is the stairway to the servants' quarters in the attic and to the left are two steps which lead to the bedroom area. On the south is the master bedroom and dressing room, with bath, and on the west is the guest bedroom and on the north are two bedrooms, with a bath between them. These two rooms also had access to a sleeping porch, which now is glassed in. All of the doors entering the bedrooms, except the one to the master bedroom have been changed. The guest room was divided into two rooms when the house became an apartment house in 1938.

The landing is graced by a spectacular, three paneled window with leaded glass on the lower portion and a stained glass leaf design at the top. The side windows open. The windows on the main floor and second floor are leaded on the top portion and, with the exception of the large, fixed middle panels, all the windows are operable. The lifts for the windows are silver plated to match the exterior door knobs, which are heavy and silver plated with an ornate design. On the interior doors, the knobs are crystal, with lock coverings.

The floors are maple, except the attic floors which are fir. Mahogany is the primary wood used for doors and bannisters. The original built-in china closet, which remains in the building, is mahogany with floor to ceiling paneled doors of leaded and stained glass. The east end of the dining room also has a large stained glass window flanked by two doors to the outside patio area.

## 8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400–1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500–1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600–1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/
<input type="checkbox"/> 1700–1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian
<input type="checkbox"/> 1800–1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater
<input checked="" type="checkbox"/> 1900–	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)

<b>Specific dates</b>	1912	<b>Builder/Architect</b>	A. J. Gibson, Architect
-----------------------	------	--------------------------	-------------------------

### Statement of Significance (in one paragraph)

The Fred T. Sterling House, built in 1912, is significant because it was designed by the prominent Missoula architect A. J. Gibson and due to its association with Fred T. Sterling, one of the more influential businessmen in Missoula during the first decades of the Twentieth Century. This fine example of Arts and Crafts bungalow style architecture has been well maintained and, although converted from a single family dwelling to an apartment house in 1938, the building retains a very high degree of historic architectural integrity.

Fred T. Sterling was a native of New Brunswick, Canada and came to Montana in 1883 to join the Eddy Hammond Company (forerunner to the Missoula Mercantile Company). Sterling started as a clerk and moved steadily up through the ranks of management until he was appointed a vice-president of the firm in 1906. He left Missoula Mercantile in 1918 and became president and part-owner of the Western Montana National Bank. His other commercial interests in Western Montana included a partnership in the A. M. Sterling Store in Ronan and a store in Quigley. Little documentation has been found on F. T. Sterling's exploits, but he is remembered by local people as the president of the Western Montana National Bank.

A. J. Gibson, the architect of the Fred T. Sterling House, had a long and productive career in Montana. "When Mr. Gibson first settled in Missoula, he saw the possibilities of the town, and as soon as he was able to do so, he began purchasing business lots. He put up the handsome brick block, the Gibson block. . . [T]oday the Gibson Block is the heart of the town of Missoula's busiest corner. To drive over Missoula is to see on every hand, evidence of his skill and ability. He built the High School, the Hawthorne School, the Sacred Heart Academy, the Harnois Theatre, all of the University of Montana buildings, and innumerable others." In 1886, Missoula was little more than a village; by the time Gibson retired in 1909, with his help Missoula was transformed into a stable and prosperous city. Moreover, Gibson's impact reached far beyond Missoula; his influence can be seen throughout the State of Montana in his many impressive private and civic buildings.

In A. J. Gibson's earliest work, one can see the influence of his mentor, H.M. Patterson of Butte who was well known for his fine examples of Richardsonian Romanesque design. Gibson's University Hall (1898) at the University of Montana incorporates the general massing and stylistic features of the Richardsonian style. By the turn-of-the-century, classical design aspects may first be noted and soon emerge dominant in Gibson's work, as evidenced by the progression from the minor classical detailing of the Ravalli County Courthouse (1901), to the Hamilton Town Hall (1906-07), the Bass Mansion (1908) and the George May House (1909) in Stevensville, and culminating in the fully developed Beaux Arts classicism of the Missoula County Courthouse (1908-10). Shortly after the completion of the Courthouse project, A.J. Gibson retired from his professional offices due to increasing deafness. Finding the time to turn to domestic design, Gibson set to work on his own house and studio in Missoula, refashioning the building from a 19th Century Queen Anne cottage into a Prairie style bungalow. Gibson's later residential designs reflect his major shift from classicism to the more popular styles of the early Twentieth Century which were influenced by the Arts and Crafts and Prairie School movements. The Fred T. Sterling House is one of Gibson's finest, most well maintained and preserved examples

# 9. Major Bibliographical References

Koelbel, Leonara. Missoula the Way It Was, Gateway Printing & Litho, Missoula, MT 1972  
 Kvale, Velma R. Where the Buffalo Roamed, Mission Valley News, Ronan, MT 1976  
 PACIFIC NORTHWEST QUARTERLY, Vol. 40 No. 3 July 1949, "Frank L. Worden, Pioneer Merchant",  
 by Albert J. Partoll

# 10. Geographical Data

Acreege of nominated property less than one

Quadrangle name Southeast Missoula

Quadrangle scale 1:24,000

**UMT References**

A 

1	2
---	---

2	7	1	7	4	0
---	---	---	---	---	---

5	1	9	3	6	2	0
---	---	---	---	---	---	---

  
 Zone Easting Northing

B 

--	--

--	--	--	--

--	--	--	--	--	--

  
 Zone Easting Northing

C 

--	--

--	--	--	--

--	--	--	--	--	--

D 

--	--

--	--	--	--

--	--	--	--	--	--

E 

--	--

--	--	--	--

--	--	--	--	--	--

F 

--	--

--	--	--	--

--	--	--	--	--	--

G 

--	--

--	--	--	--

--	--	--	--	--	--

H 

--	--

--	--	--	--

--	--	--	--	--	--

**Verbal boundary description and justification**

The nominated property occupies the west 139 feet of lot 1, Block 26 of the Hammond Addition #3 of the City of Missoula. T13N;R19W Section 27

**List all states and counties for properties overlapping state or county boundaries**

state n/a code county code

state code county code

# 11. Form Prepared By

name/title Tomme M. Worden, Co-owner

organization n/a date 11/20/82

street & number 208 Pattee Canyon telephone 406-549-7676

city or town Missoula state Montana

# 12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

national  state  local

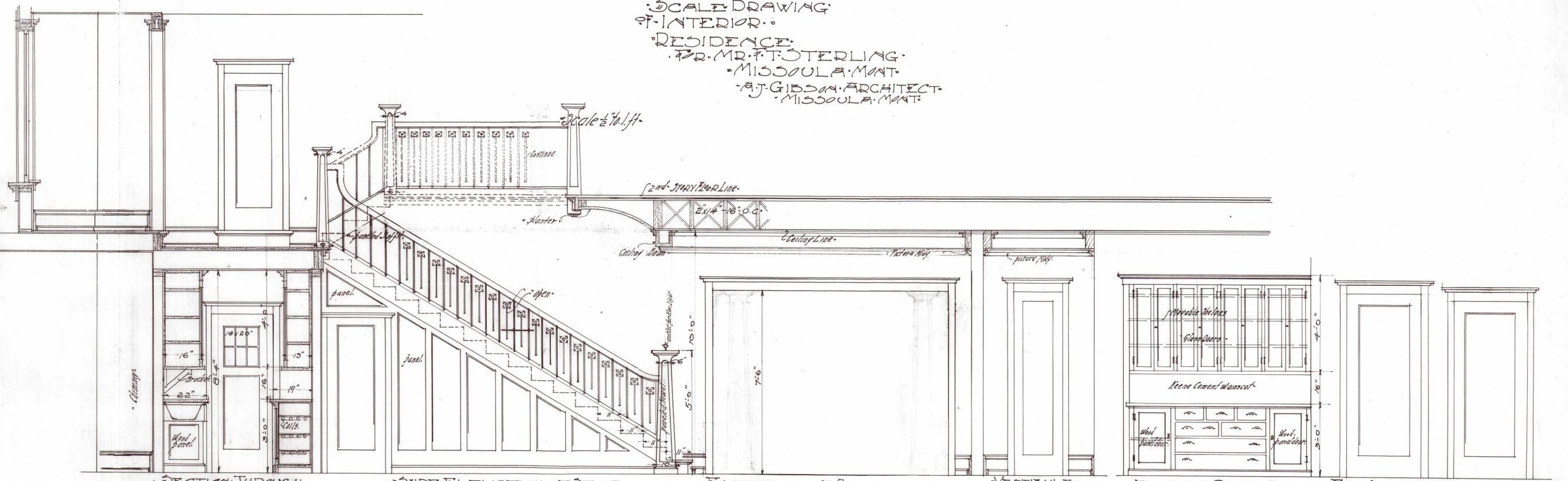
As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

State Historic Preservation Officer signature Marcelle Steffy

title Deputy SHPO date 5-24-83

**For NPS use only**  
 I hereby certify that this property is included in the National Register  
John A. McChesney date 7/7/83  
 Keeper of the National Register  
 Attest: \_\_\_\_\_ date \_\_\_\_\_  
 Chief of Registration

SCALE DRAWING  
 OF INTERIOR  
 RESIDENCE  
 FOR MR. F. T. STERLING  
 MISSOULA, MONT.  
 A. J. GIBSON, ARCHITECT  
 MISSOULA, MONT.



SECTION THROUGH PANTRY

SIDE ELEVATION OF STAIR

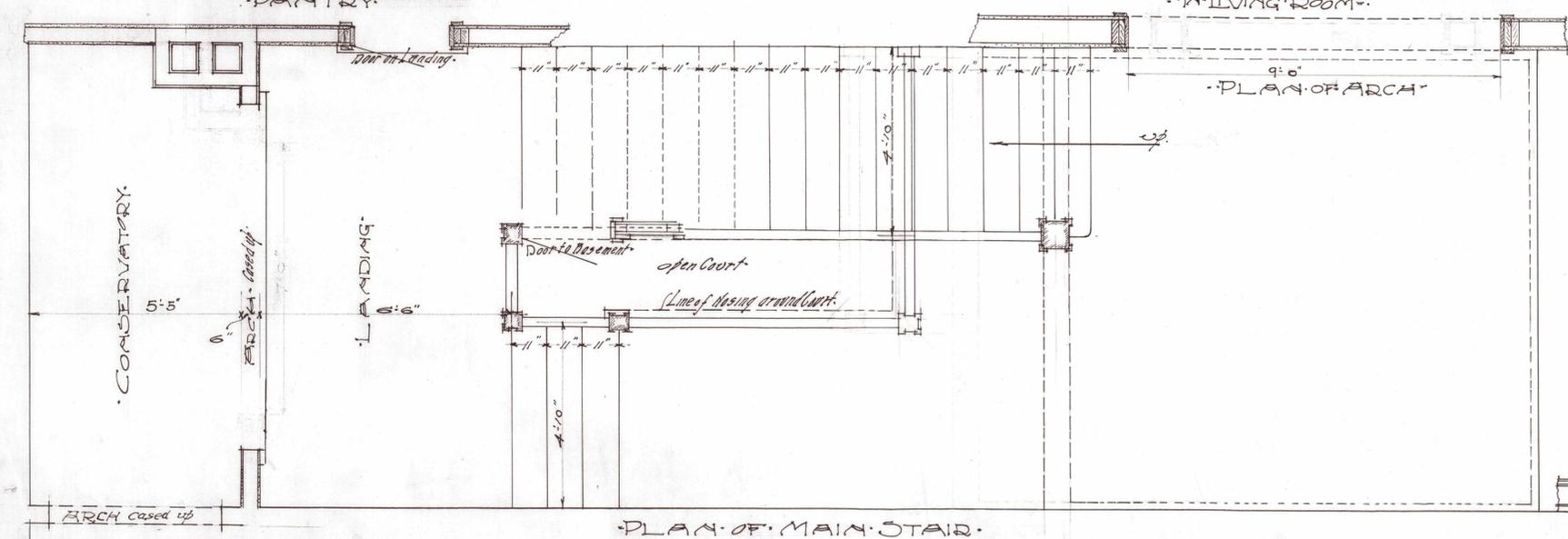
ELEVATION OF ARCH IN LIVING ROOM

VESTIBULE CLOSET DOORS

PANTRY CASE A

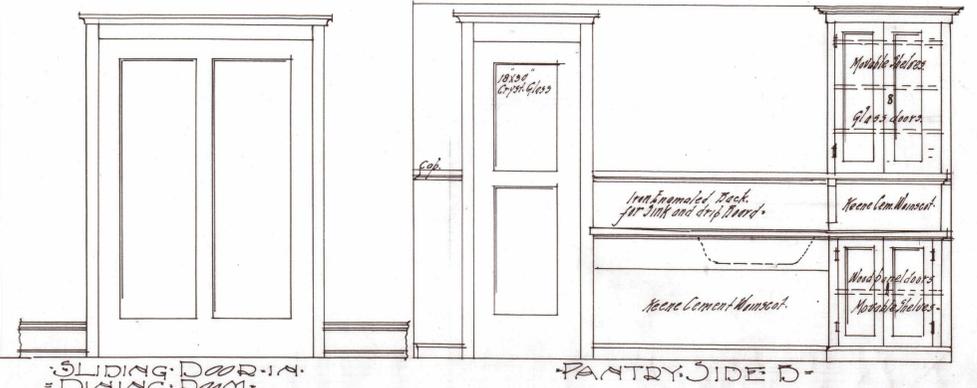
FIRST STORY DOORS

SECOND STORY DOORS



PLAN OF ARCH

PLAN OF MAIN STAIR



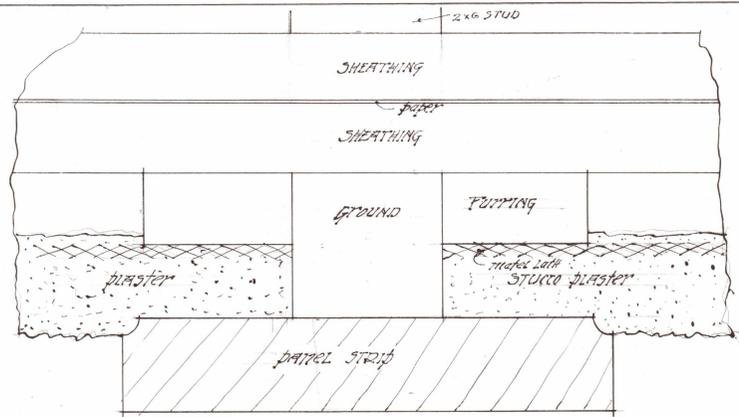
SLIDING DOOR IN DINING ROOM

PANTRY SIDE D

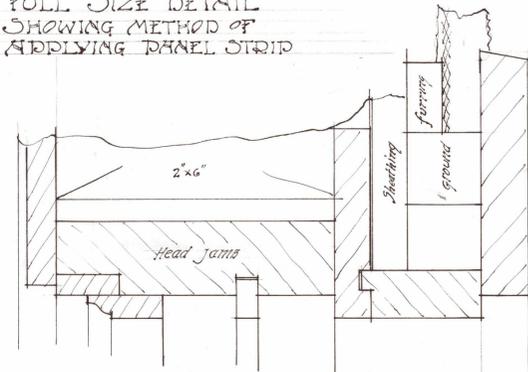




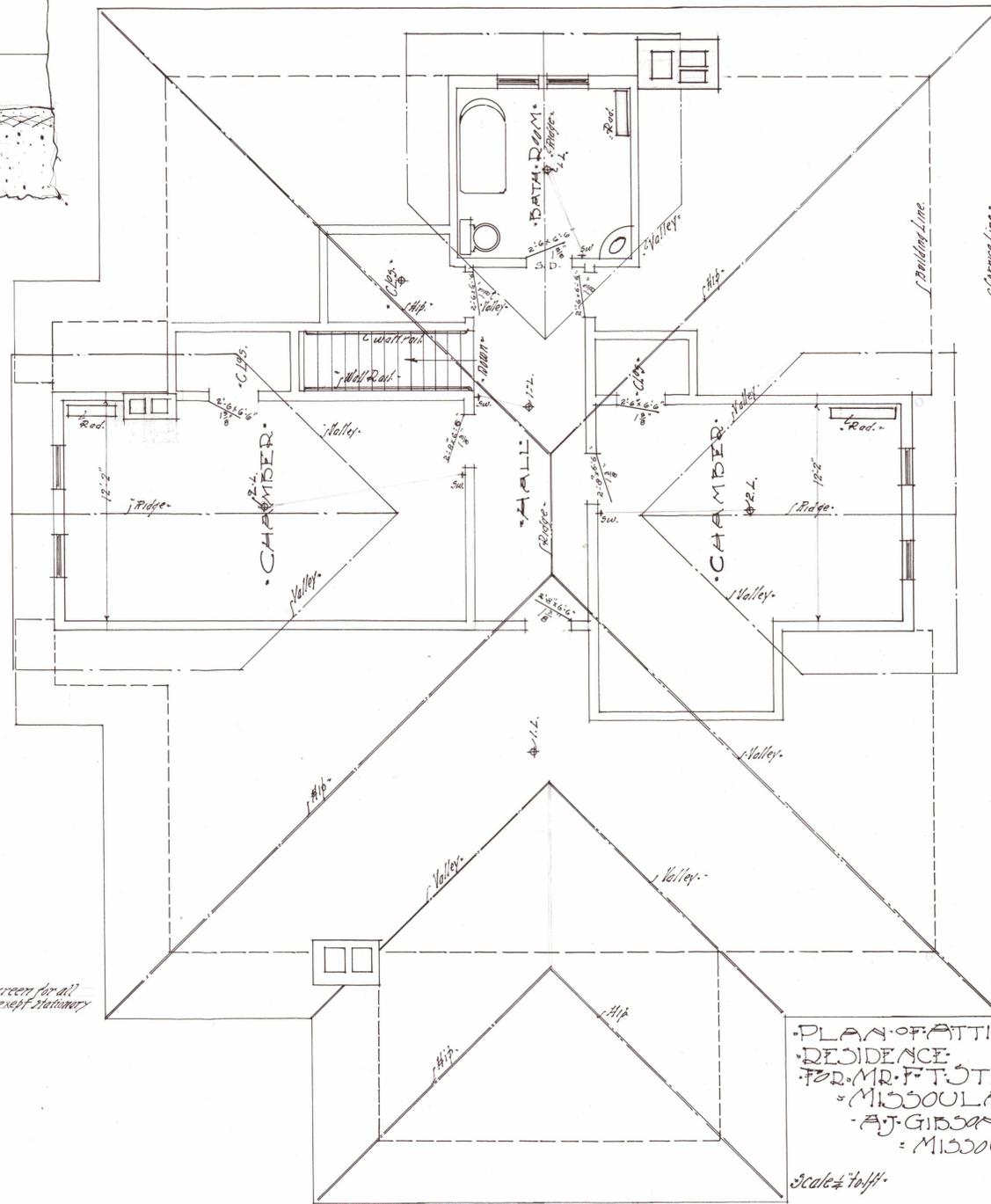
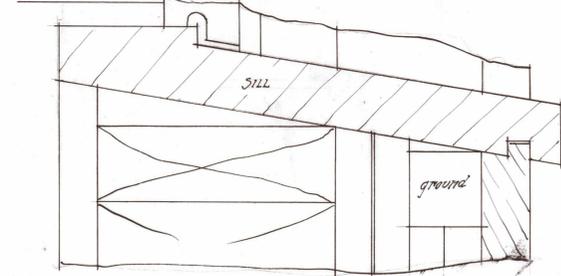
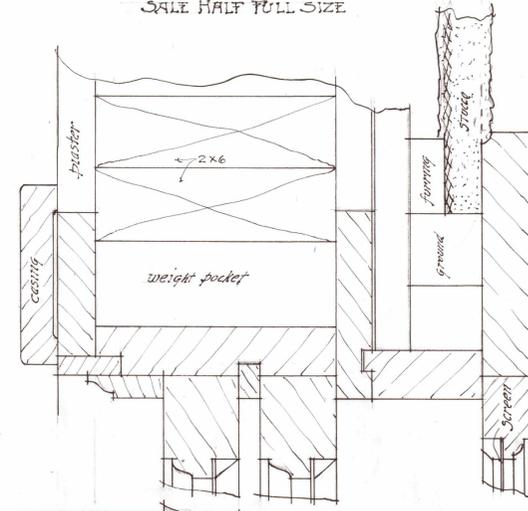




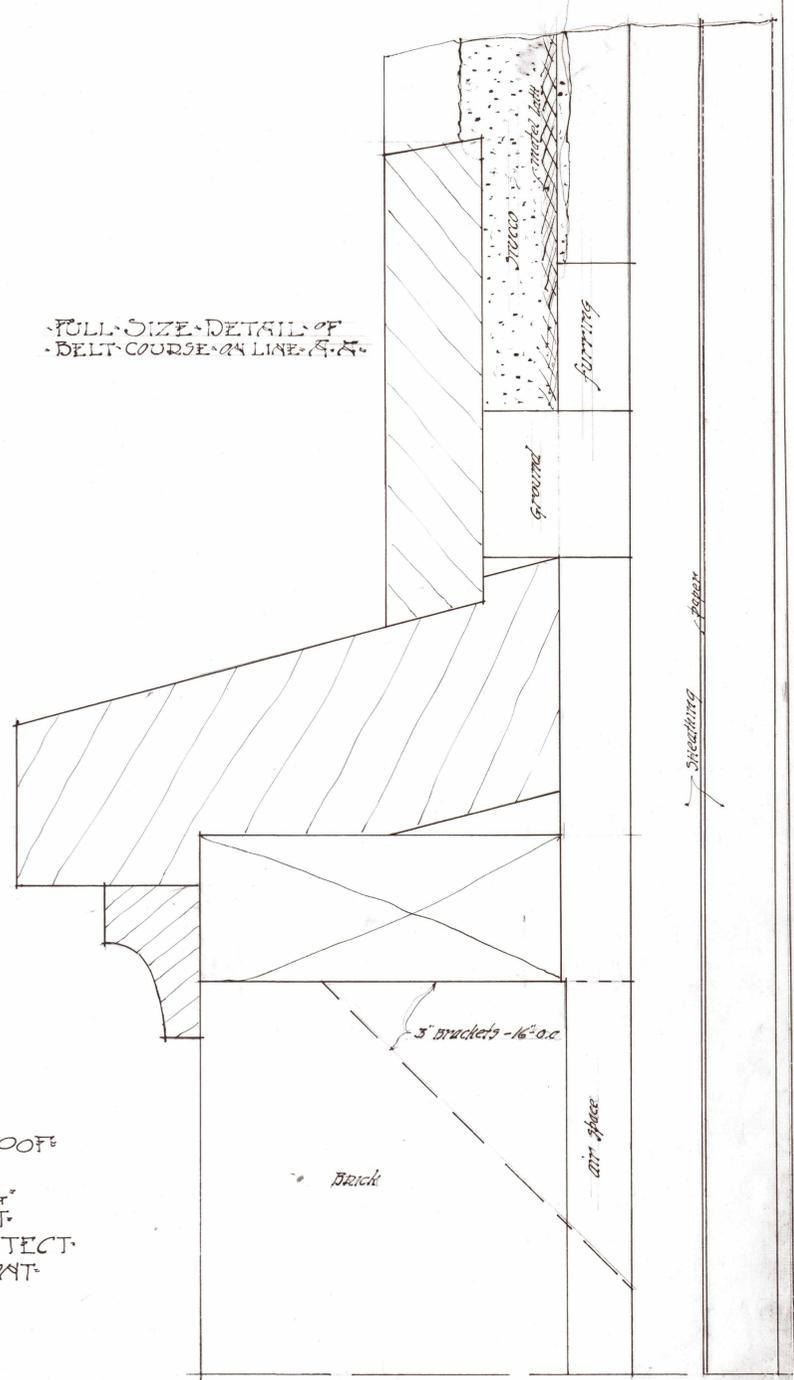
FULL SIZE DETAIL  
SHOWING METHOD OF  
APPLYING PANEL STRIP



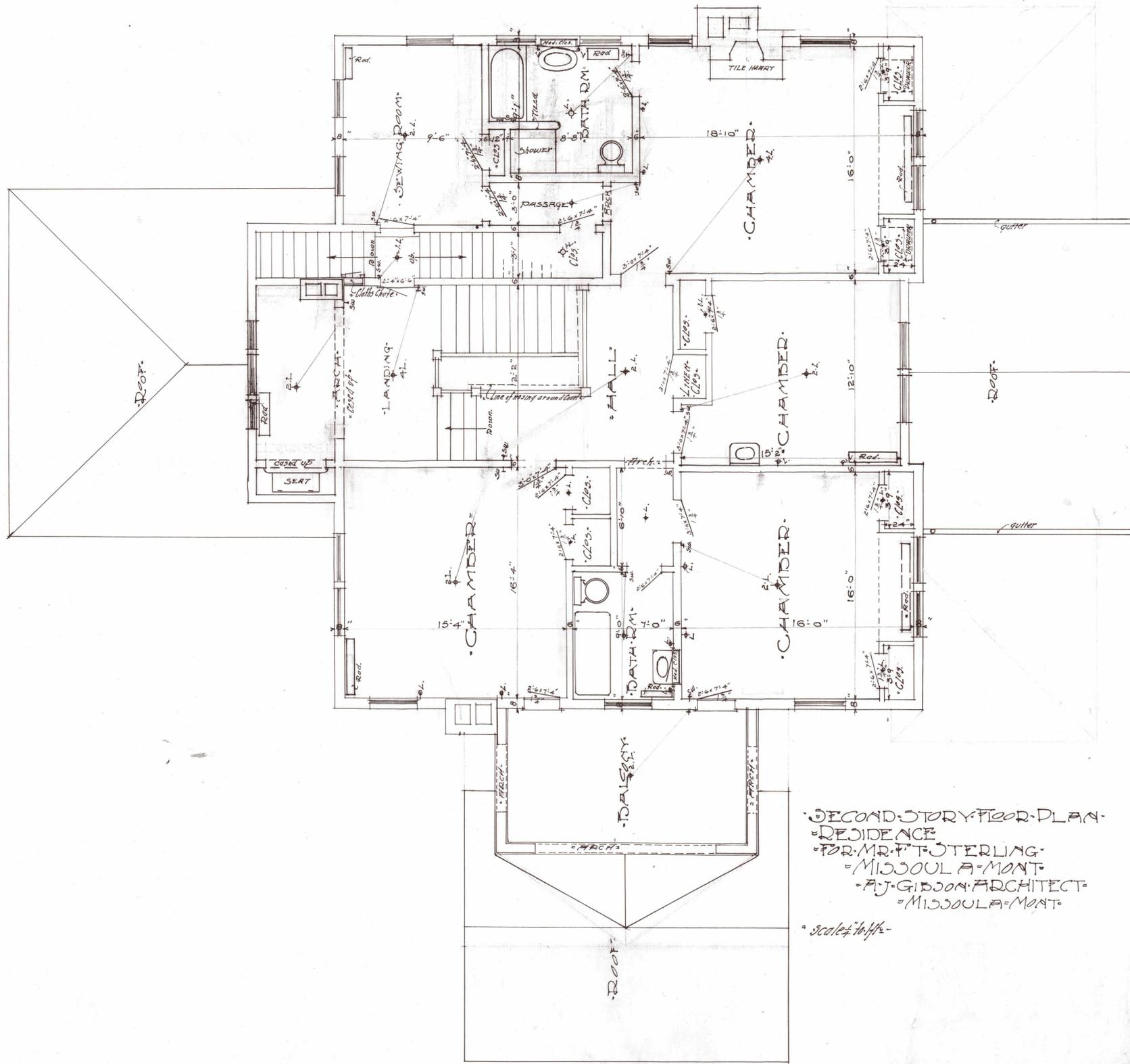
DETAIL OF WINDOW FRAMES 2<sup>ND</sup> FLOOR  
SCALE HALF FULL SIZE



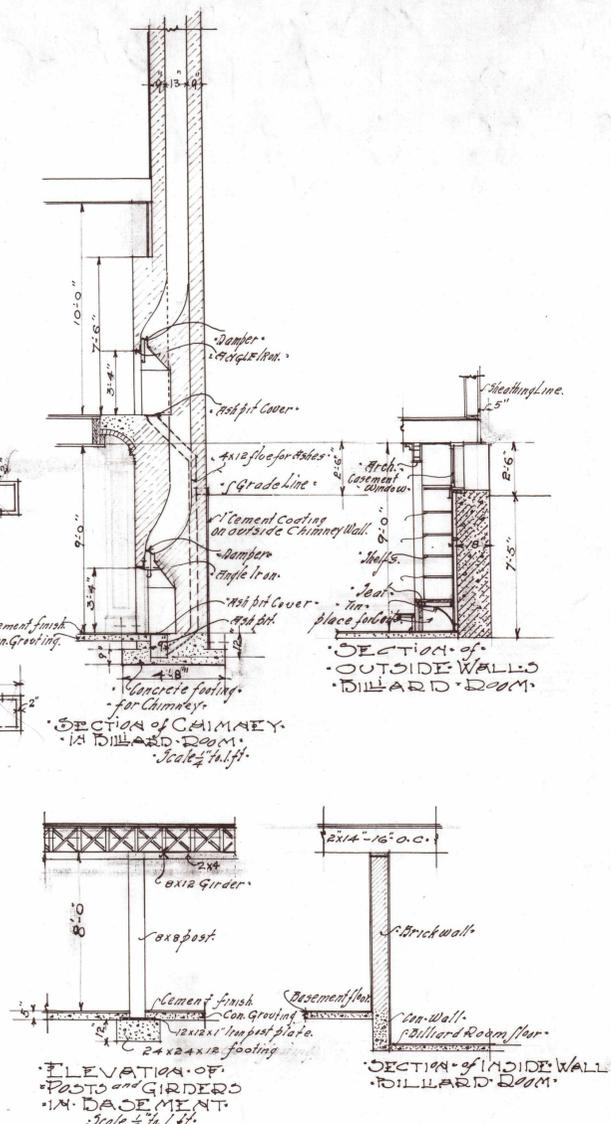
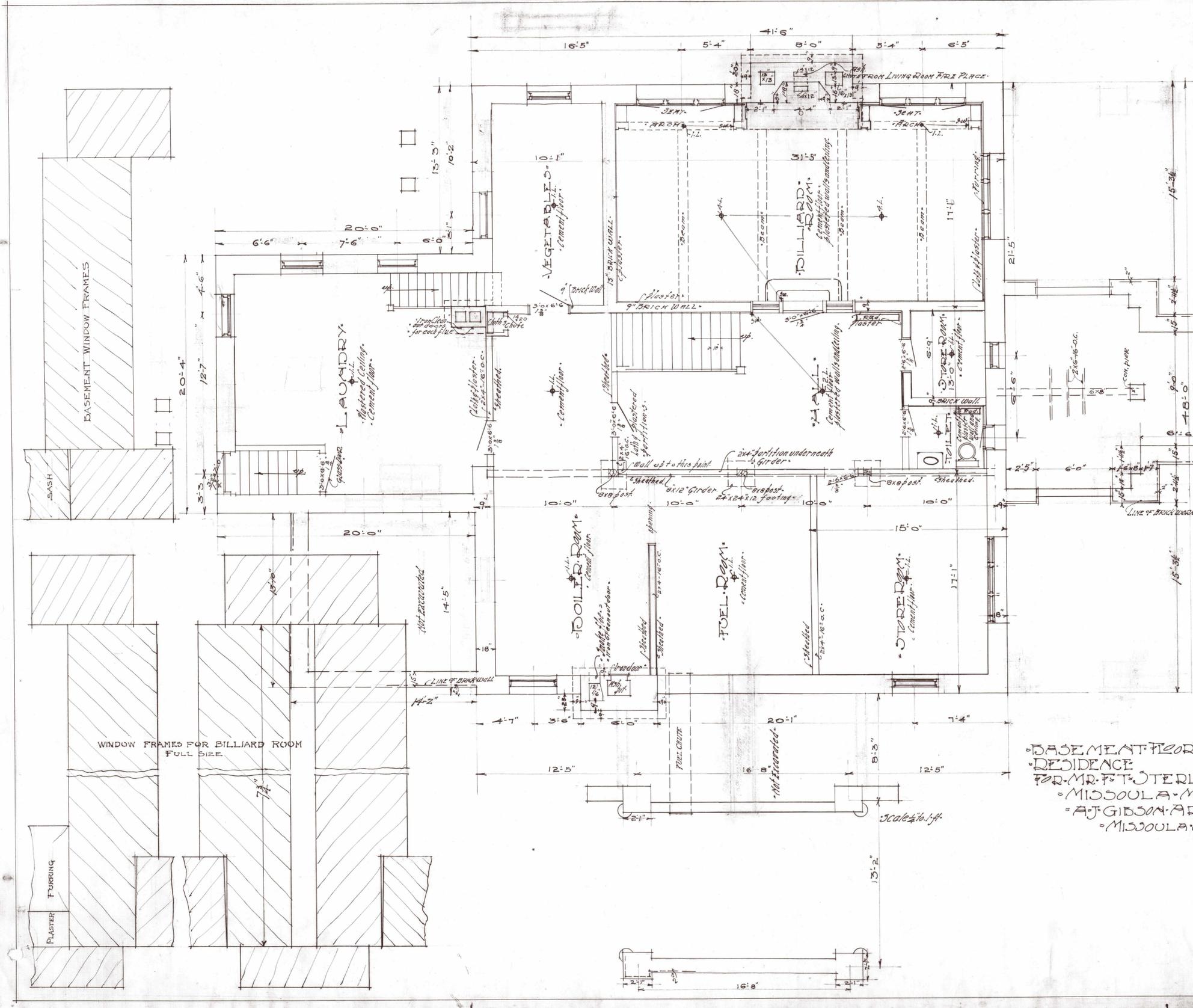
PLAN OF ATTIC AND ROOF  
RESIDENCE  
FOR MR. F. T. STERLING  
MISSOULA MONT.  
A. J. GIBSON ARCHITECT  
MISSOULA MONT.  
Scale 1/4" = 1'-0"



FULL SIZE DETAIL OF  
BELT COURSE ON LINE



SECOND STORY FLOOR PLAN  
 RESIDENCE  
 FOR MR. F. STERLING  
 MISSOULA MONT.  
 A. J. GIBSON ARCHITECT  
 MISSOULA MONT.  
 Scale 1/4" = 1'-0"



BASEMENT FLOOR PLAN  
 RESIDENCE  
 FOR MR. F. T. STERLING  
 MISSOULA, MONT.  
 A. J. GIBSON ARCHITECT  
 MISSOULA, MONT.

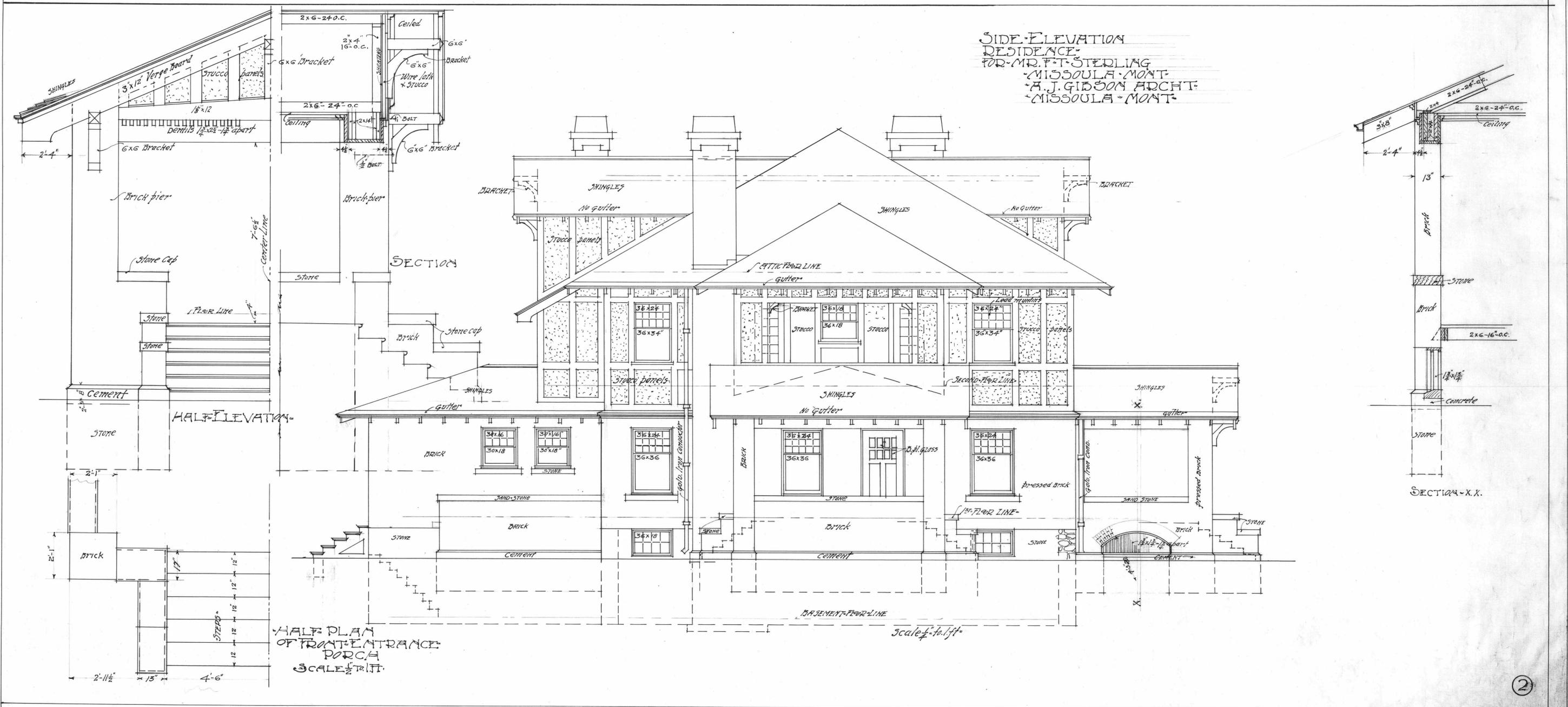
Scale 1/4" = 1'-0"

S.M.C. #

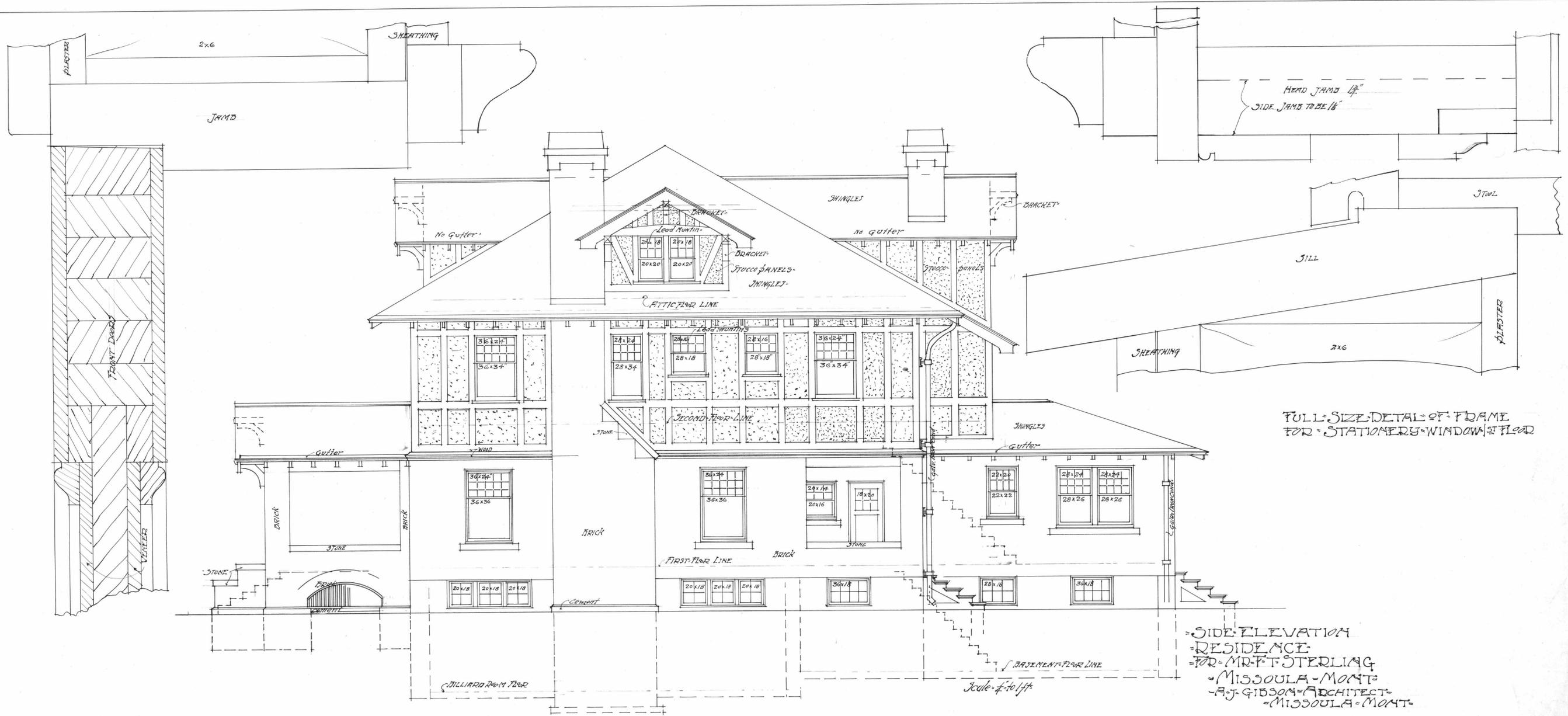
5



SIDE ELEVATION  
 RESIDENCE  
 FOR MR. F. T. STERLING  
 MISSOULA, MONT.  
 A. J. GIBSON ARCHT.  
 MISSOULA, MONT.



2

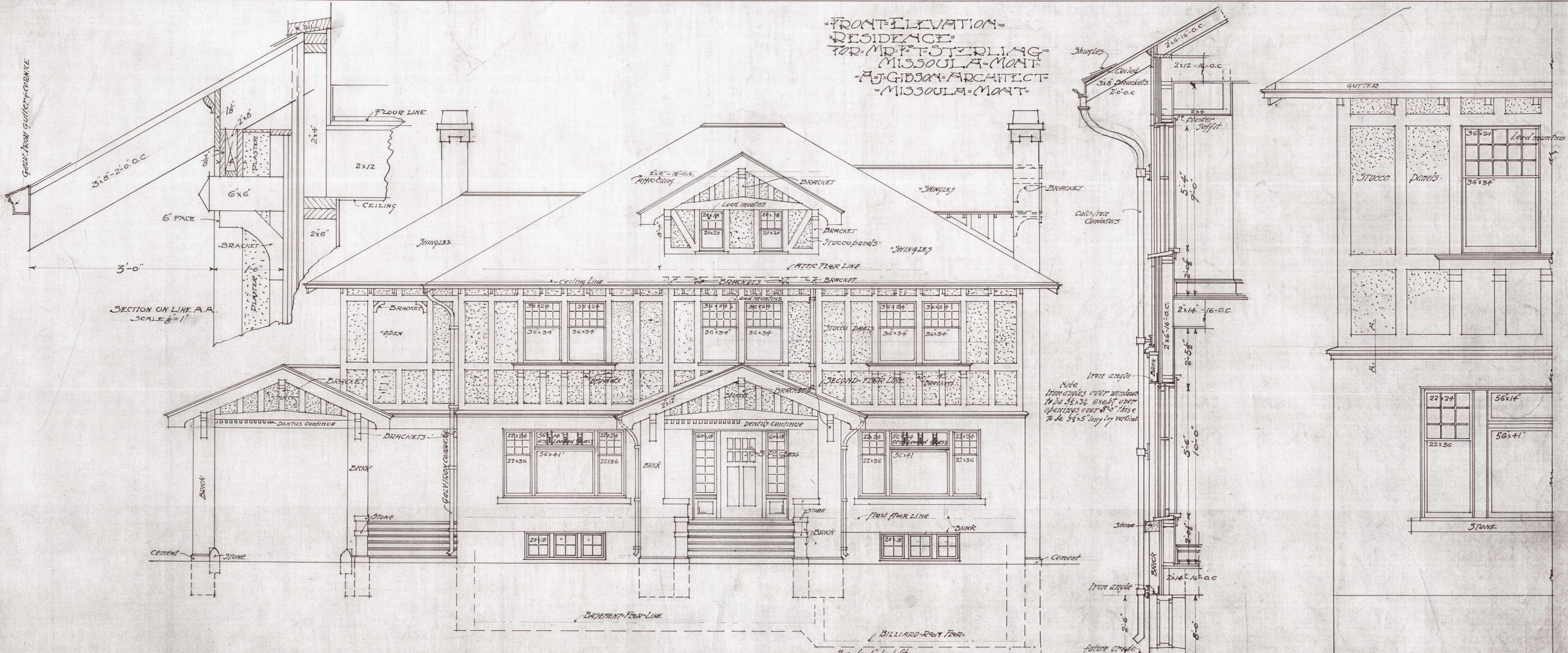


FULL-SIZE DETAIL OF FRAME FOR STATIONERY WINDOW HEAD

SIDE ELEVATION  
 RESIDENCE  
 FOR MR. FOSTERLING  
 MISSOULA - MONT.  
 A. J. GIBSON ARCHITECT  
 MISSOULA - MONT.

Scale 1/4" = 1'-0"

FRONT ELEVATION  
 RESIDENCE  
 FOR MR. FOSTER  
 MISSOULA-MONT  
 A. J. GIBSON ARCHITECT  
 MISSOULA-MONT



SECTION ON LINE A.A.  
 SCALE 1/8" = 1'

Scale 1/4" = 1 ft.

SECTION

PART ELEVATION  
 OF FRONT

Scale 1/4" = 1 ft.

1

# F. T. STERLING RESIDENCE

## PROJECT NARRATIVE



October 9th, 2020



**SCARIANO**  
CONSTRUCTION

# EXTERIOR RESTORATION WORK

The new owner of the historic F.T. Sterling Residence has partnered with Scariano Construction to complete much needed maintenance on this beautiful home.

It is important to the owner of the building to maintain the original glory of the historic home, in line with providing much needed improvements to the exterior.

We will check for safety and functionality of exterior doors, stairs and handrails, making improvements where needed, with like materials and keeping the original design of the home at the forefront of every decision.

Overall, on the exterior of the home, we will repaint with like colors, install new half-round gutters, keeping the original downspouts where we can, re-point masonry work and re-set any loose large sandstone blocks, and new storm windows as the budget allows.



# WEST ELEVATION

1. Restore Entry steps to a VG Fir tread in line with the original design.
2. Repair and restore the wood tongue and groove planks on the front entry, replacing any damaged boards with VG Fir tongue and groove.
3. Re-point brick masonry and re-set sandstone column caps.
4. Restore and repair original front and screen doors.
5. Repair pathway from sidewalk to front entrance.
6. Install two new flat iron hand-railings at Entry steps.
7. Install new house numbers using A.J. Gibson's font from original blueprints.



# SOUTH ELEVATION

1. Repair and replace rafter tails and soffit on roof line that have rotted and caused the roof to sag.
2. Remove and replace wooden steps and small deck to exterior door, Will use wood and build in a similar fashion to Entry steps. Railing will be redone in compliance with current safety and building code.
3. Check safety and function of steel stairwell to upper floor. Repair as necessary to restore to original condition.
4. Clean up storage and install proper bicycle racks.
5. New Awning over door and repair/refinish door.



# SOUTH ELEVATION

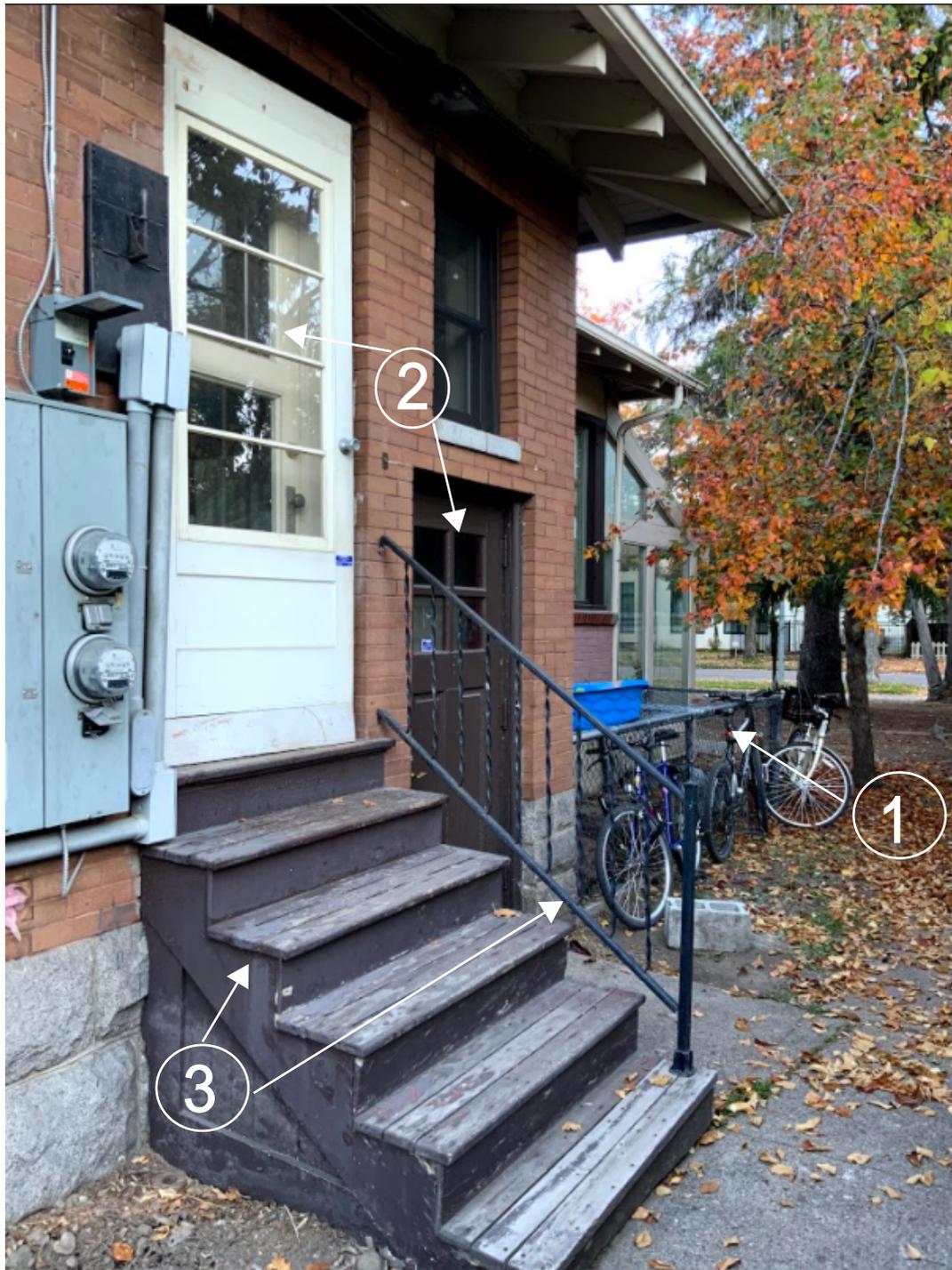


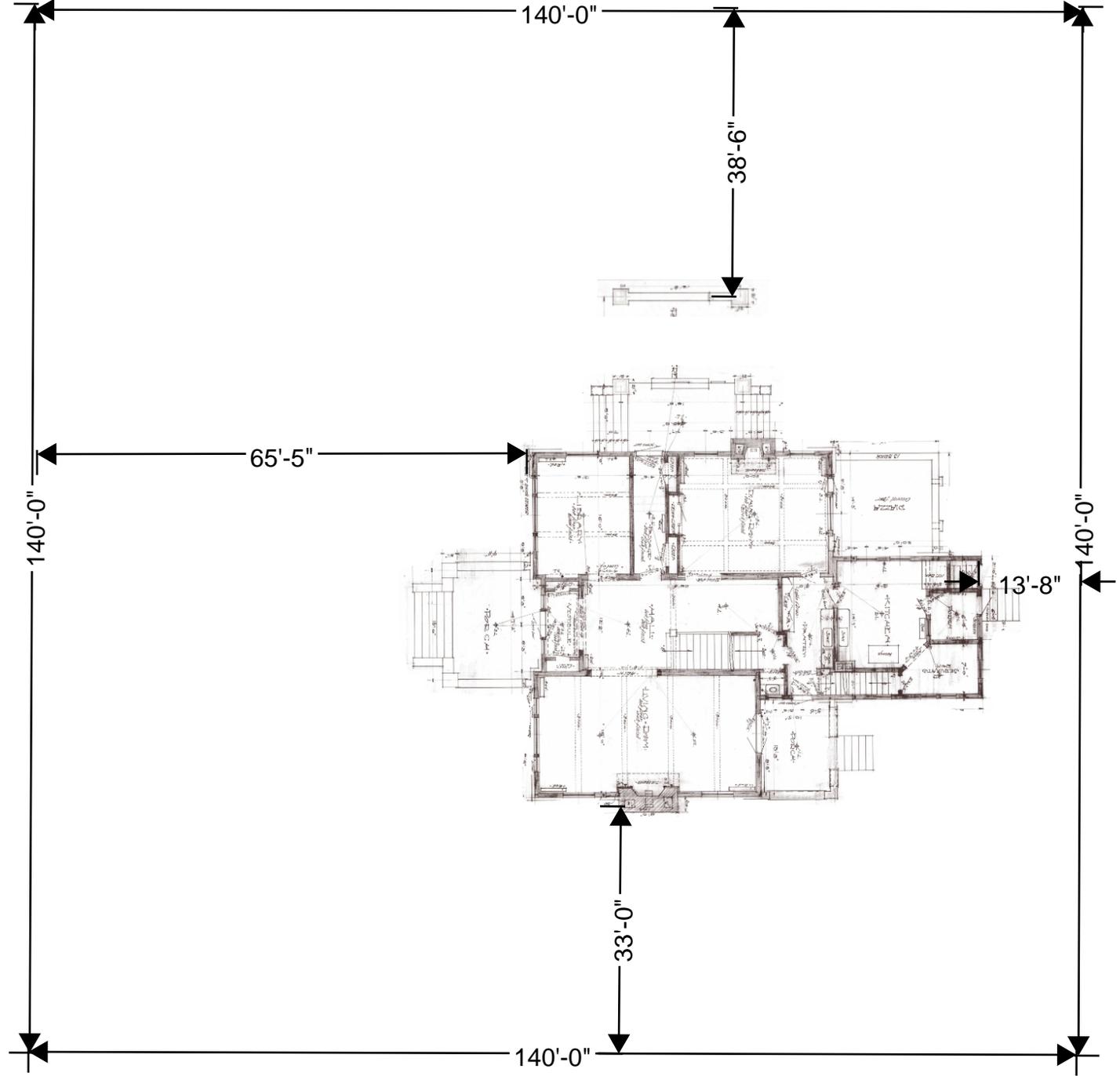
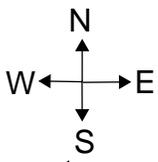
# NORTH ELEVATION



# EAST ELEVATION

1. Clean up and remove dog kennel.
2. New exterior and storm door.
3. New stairs and railing in similar materials.





F. T. Sterling Historical Home  
1310 Gerald Ave

Site Plan

10/9/2020



**SCARIANO**  
CONSTRUCTION