



## Sentinel High School

901 South Ave West

Missoula, MT 59801

Tel: 406/728-2403 Fax: 406/329-5959

Ryan Rettig, Principal Brian Fortmann, Asst. Principal/AD Margo Duneman, Asst. Principal Craig Mettler, TOSA/Dean

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September 3, 2020

Ryan Rettig  
Missoula County Public Schools  
901 South Ave West, Missoula, MT 59801

City Hall  
2344 Spruce, Missoula MT 59808

Dear City Board Members,

I am writing this letter for the purpose of gaining permission to update/replace our electronic reader board. Our school reader board is a pivotal community tool allowing us to communicate with our families and students. The current reader board is dated and needs replacement.

We are excited to have the opportunity to update our reader board to a more dynamic electronic reader. In return, we'll get information to our community faster, provide more timely updates, and ensure we are providing the most relevant and appropriate information to families. As the communication, social, and security needs change in education, an electronic reader will aid us in meeting and exceeding those challenges.

Currently there is a dynamic electronic reader board like what we are proposing right down the street from us. Furthermore, we would continue to honor the previous contract stating that we would turn the sign off by 10:00 pm.

I am confident that we would continue to see the same support from our families and surrounding community members. It is my hope that the City Board supports our proposal to update and replace our electronic reader board and approves this proposal. Thank you for your time and sincere attention to this matter.

Sincerely,

A handwritten signature in blue ink that reads "Ryan Rettig".

Ryan Rettig  
Principal, Sentinel High School



**DEVELOPMENT SERVICES**

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX:

**MISSOULA CITY BOARD OF ADJUSTMENT  
APPLICATION**

Date: September 3, 2020

Meeting Date: October r28, 2020

Applicant Name: Sentinel High School

Address: 901 South Ave West Phone (406) 728-2403

Agent Name: Ryan Rettig

Address: 901 South Ave West Phone: (406) 728-2400 Ext 7032

Project Address/Location: 901 South Ave West

Request Type: Public Forum

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**The following items must be submitted as part of the application:**

Legal Description

Lot(s): \_\_\_\_\_; Block(s): \_\_\_\_\_; Subdivision: \_\_\_\_\_

Section: 33; Township: T13N; Range: R19W

COS# \_\_\_\_\_

Zoning: Public Lands and Institutional (OP3)

**11 PACKETS CONTAINING THE FOLLOWING ITEMS:**

- a. Application**
- b. Cover Letter**
- c. Site Plan/ Landscaping Plan – 11” x 14” or smaller (to scale)**
- d. Elevation Drawings – 11” x 14” or smaller (to scale)**
- e. Topography Map, if applicable – 11” x 14” or smaller (to scale)**
- f. Floor Plan**

## MISSOULA CITY BOARD OF ADJUSTMENT APPLICATION

### APPLICANT'S RESPONSIBILITY

The burden of proof for an applicable hardship and justification of proposal lies with the applicant. The applicant or the applicant's agent must be present at the meeting. Failure to appear at the meeting is grounds for denial of the variance request.

### CHAPTER 20.90.010, BOARD OF ADJUSTMENT, AUTHORITY

A board of adjustment is established as authorized by §76-2-321 through §76-2-328, MCA. The board of adjustment is responsible for conducting public hearings and making decisions in accordance with the procedures of this zoning ordinance and state law.

### BOARD OF ADJUSTMENT HAS THE AUTHORITY TO REVIEW:

1. Variance Requests (Section 20.85.090)
2. Appeals of Administrative Decisions (Section 20.85.100)
3. Special Exceptions (Section 20.75.090) and Sign Variances (Section 20.75.130)

### VARIANCE APPROVAL

An approved zoning variance will lapse and have no further effect **2 years** after it is granted by the board of adjustment or 2 years after a final court order is issued (if the variance is the subject of litigation), unless **all** of the following occur:

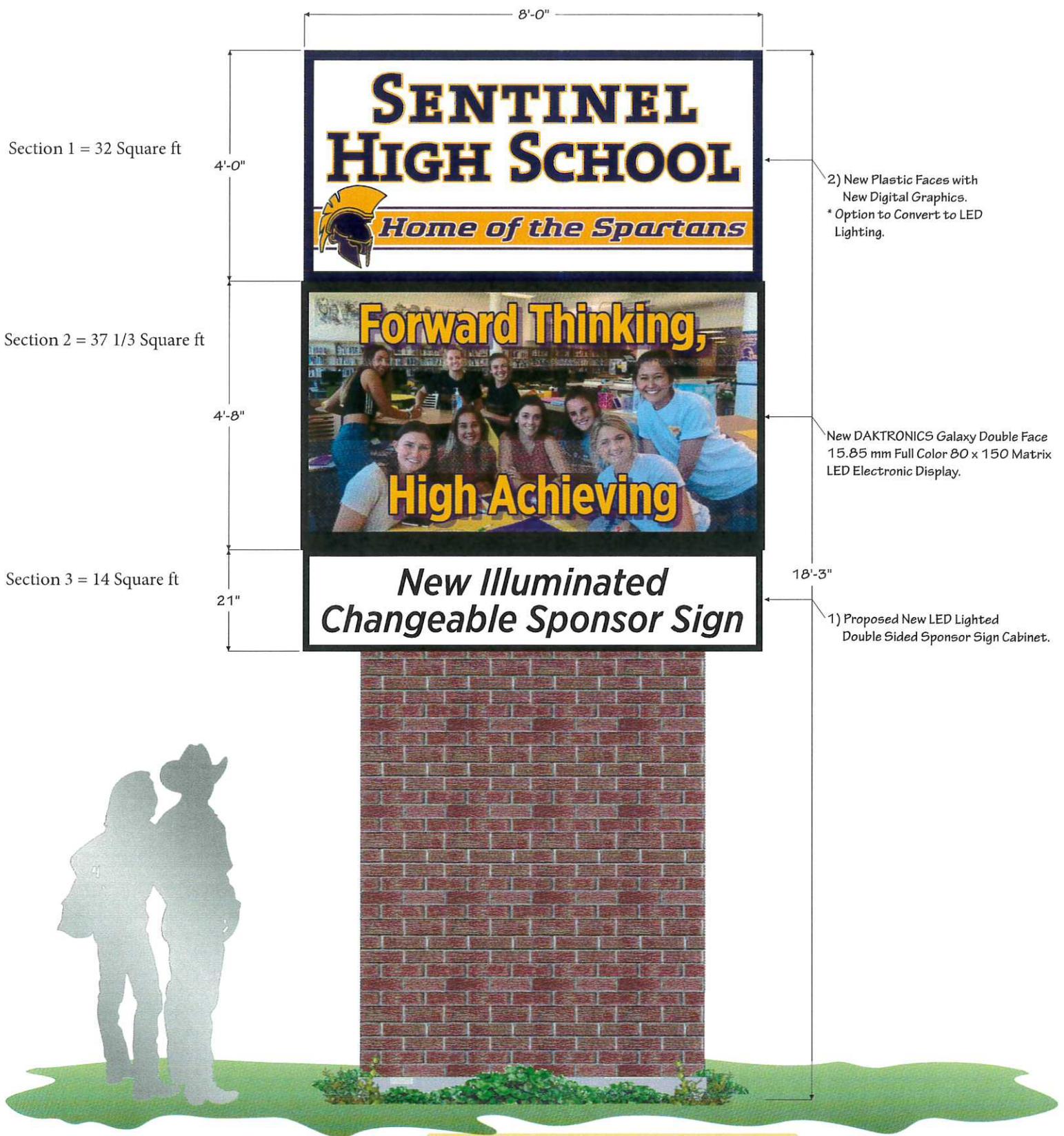
- a) a building permit has been issued (if required);
- b) a zoning compliance permit has been issued; and
- c) a final certificate of zoning compliance has been issued.

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I hereby attest that the information on this application form is accurate and complete.

Property Owner's Signature  Date 9-3-2020

I, Burley McWilliams for MCPS, owner of the said property authorize Ryan Rettig to act as my agent in this application.



Total Square ft of proposed sign = 83 1/3 Square ft

Total Square ft of the Dynamic portion of sign = 37 1/3 Square ft



9/29/2020  
City of Missoula  
Sentinel High School  
901 South Ave W  
Missoula, Montana 59801

Re: **Brightness Certification Letter**

To Whom it may concern:

The following information pertains to the 15mm Galaxy display provided by Daktronics, Inc. and to be located at Sentinel High School, 901 s. Ave West 7910, Missoula, MT 59801.

The sign comes equipped with a light-sensor (photocell) that detects light level and adjusts the display intensity automatically according to the natural ambient light conditions. The sign is set to not exceed a brightness level of 0.3-foot candles (3.22 Nit level) above ambient light as measured from an appropriate distance. Further, the display can comply with the brightness restrictions as prescribed for dynamic displays in Chapter 20.75 of the Missoula Municipal Code.

With the ambient light sensor operating, this nighttime intensity is factory programmed and password protected from manipulation.

In accordance to

- a) Section 20.75.070.F.4 "dynamic displays may not change or move more often than once every second". The end users of Daktronics Displays are able to set specific times between slides to meet this requirement. Normally slides are shown for 5 to 15 seconds depending on the viewing audience/traffic speed.
- b) Section 20.75.070.F., "The transition from one image or display to the next must be accomplished in one second or less. Fading, scaling, scrolling, and dissolving effects may be used as part of the transition". Transitions within Daktronics Displays by default are instant, the end users do have the ability to modify transitions between slides if needed.

Daktronics, Inc. is the world leader in design and manufacture of electronic displays systems. We are committed to providing LED displays that adhere to regulatory environment, working closely with our customers for responsible approach to market.

Please let me know if you have any questions or concerns.

Sincerely  
DAKTRONICS, INC.  
Steve Schlosser  
509-570-3718

2000 W. 10th St., PO Box 8100  
Missoula, MT 59811

Phone: 406-544-7344 605-692-0200  
Fax: 406-544-0181

[www.daktronics.com](http://www.daktronics.com)

September 8, 2020

**Re: Brightness Certification Letter**

To Whom It May Concern:

The following information pertains to the 15mm Galaxy display provided by Daktronics, Inc. and located at Sentinel High School, 901 S. Ave. West 7910, Missoula Montana 59801.

The digital display comes equipped with a light-sensor (photocell) that detects ambient light levels and adjusts the display intensity automatically according to natural ambient light conditions. The display is set to not exceed a brightness level of 0.3 foot candles above ambient light as measured from an appropriate distance. Further, the display can comply with the brightness restrictions as prescribed for dynamic displays in Chapter 20.75 of the Missoula Municipal Code.

Daktronics, Inc. is the world leader in the design and manufacture of electronic display systems. We are committed to providing LED displays that adhere to the regulatory environment, working closely with our customers for a responsible approach to the market.

Please let me know if you have any questions or concerns.

Sincerely,  
DAKTRONICS, INC.

Shawna Hanson  
Signage Legislation  
605-692-0200

9/2/2020  
 City of Missoula  
 Sentinel High School  
 901 South Ave W  
 Missoula, Montana 59801

Re: **Variance Request**

To whom it may concern,

Missoula’s Sentinel High School is requesting a variance for their ground sign to allow for a new dynamic display. The request is being made as their older dynamic display in no longer functioning and cannot be repaired.

The variation from the code is found in the City Code of Ordinances Title 20.75.050 and Title 20.75.070.F with the sections listed below:

**Title 20.75.050 Table 20.75-1**

Table 20.75-1 Signs in Residential and Open Space/Public Districts

District/Sign Type	Maximum Number	Maximum Area (sq. ft.)	Maximum Height (feet)
R215, R80, R40, R20, RT10, R8, R5.4, R3, OP1, OP3			
L Wall	1	12	6
L Ground	1[1]	24	6
L <a href="#">Temporary Signs</a>	N/A	6	8
L Other <a href="#">Signs</a>	See <a href="#">20.75.040</a> and <a href="#">20.75.070</a>		
RT5.4, RT2.7, RM2.7, RM2, RM1.5, RM1, RM0.5, RMH, OP2			
L Wall	1	24	22[2]
L Ground	1[1]	24	6
L <a href="#">Temporary Signs</a>	N/A	6	8
L Other <a href="#">Signs</a>	See <a href="#">20.75.040</a> and <a href="#">20.75.070</a>		

- The ground sign is to be 16ft. 5.5in. in total height and have a total of 64sq.ft. of signs (including the new dynamic display).

**Commented [AR1]:** If the separate sponsor sign is desired, use 18ft. 3in. for total height and 83 1/3sq.ft. for total sq.ft. of signs

**Title 20.75.070.F Section 1a.**

**Prohibited Locations**

Dynamic displays are prohibited in Residential (R), Open Space (OP), Central Business District (CBD), and historic districts.

- Sentinel High School is located in an Open Space (OP3) zone and is not normally allowed a dynamic display.

**Title 20.75.070.F Section 3**

**Orientation**

The sign face must be oriented away from adjacent residential uses and zoning districts.

- The dynamic display is oriented East and West along South Ave. with 210ft between the sign and the nearest residence. The dynamic display does not face the residence directly and has adequate space between it and the residence to not affect those living there.



The new dynamic display is to have the following specifications:

<b>Line Spacing:</b> 15.85mm	<b>Ventilation:</b> Front
<b>Matrix:</b> 80 lines by 160 columns	<b>Service Access:</b> Front Only-Can only access components from front
<b>LED Color:</b> RGB- 281 Trillion Colors	<b>Signal:</b> Quick Connects External to Display
<b>Display Configuration:</b> 2V - two one sided displays - same content	<b>Connections:</b>
<b>Cabinet Design:</b> Single Section per face	<b>Frames per</b> 60
<b>Paint:</b> Semi-Gloss Black All Around	<b>Second:</b> Automatic, Scheduled, or Manual
<b>Active Area:</b> 4' 2" H X 7' 10" W (Approx. Dimensions)	<b>Dimming:</b> Automatic, Scheduled, or Manual
<b>Cabinet Dimensions:</b> 4' 8" H X 8' 1" W X 6' 5" D (Approx. Dimensions)	<b>Viewable Viewing Angle:</b> 160 degrees horizontal x 90 degrees vertical
<b>Max Power:</b> 1145 watts/display	<b>Optimal Viewing Angle:</b> 140 degrees Horizontal x 70 degrees Vertical
	<b>Weight:</b> Unpackaged 275 lbs per display; Packaged 380 lbs per display
	<b>Compliance Info:</b> UL, cUL, UL-Energy Verified, FCC



**Geocode:**  
04-2200-33-2-01-03-0000

**Tax ID:**  
5905929

**Owner:**  
MISSOULA COUNTY HIGH SCHOOL DISTRICT #1

**Physical Address:**  
Multiple Addresses

**Legal Description:**  
S33, T13 N, R19 W, ACRES 44.25, EXEMPT-PT NE4NW4, N2N2SE4NW4



Date: 8/20/2020

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Map Center X: -114.00792 - Y: 46.84715

# Missoula County Property Fast Facts



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User ... Powered by Esri

Geocode: 04220033201030000 Tax ID: 0005905929 Tax Year: 2020

Physical Address(es):

Owner(s):

901 SOUTH AVE W  
915 SOUTH AVE W

MISSOULA COUNTY HIGH SCHOOL DISTRICT #1

Legal Description:

City or County City

S33, T13 N, R19 W, ACRES 44.25, EXEMPT-PT NE4NW4, N2N2SE4NW4

Fire District:

City Fire

**Permits:**

- H20120445 (Historical Zoning) -
- H20122503 (Historical Zoning) -
- SP20021735 (Sign) -
- SP20021925 (Sign) -
- SP20090176 (Sign) -
- 91-3786 (Building History) -
- 91-5334 (Mechanical History) -
- 91-5346 (Electric History) -
- A00-4092 (Project) -
- A01-5371 (Project) -
- A98-0869 (Project) -
- A98-1493 (Project) -
- A99-1550 (Project) -
- A99-6085 (Project) -
- A99-6086 (Project) -
- A99-6837 (Project) -
- A99-7554 (Project) -
- B00-0145 (Building History) -
- B01-1333 (Building History) -
- B2001-2079 (Building) -
- B2002-0852 (Building) -
- ...80 more

**Sewer/Well:**

[WP19-0094](#) (Well)

**Zoning:**

Contact City of Missoula Planning  
406-552-6630

**Floodplain:**

Contact City of Missoula Floodplain Administrator  
406-552-6625

**Air Stagnation:**

Air Stagnation Zone  
Within City

**Schools:**

Elementary - Lewis & Clark  
Middle School - Washington  
High School - Sentinel

MS4

Not in MS4

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### MISSOULA What's My Zoning?

901 SOUTH AVE, MISSOULA, MT 59801 X

Show search results for 901 SOUTH ...

**Legend**

- B2-2
- B3-2
- C1-1
- C1-2
- C1-3
- C1-4
- C2-2
- C2-4
- CBD-4
- M1-2
- M1R-2
- M2-4
- OP1
- OP2
- OP3
- A
- PUD
- R20
- R215
- R40
- R5.4
- R8
- R80
- ...

0.4mi

-114.035 46.853 Degrees

f Land Man

**MISSOULA What's My Zoning?**

Search: SOUTH AVE, MISSOULA, MT 59801 X

Show search results for 901 SOUTH ...

**Parcels: MISSOULA COUNTY HIGH SCHOOL DISTRICT #1**

ParcelID	04220033201030000
PropertyID	373,065
TaxAcres	0.00
GISAcres	42.64
Property Address:	901 SOUTH AVE, MISSOULA, MT 59801
Owner Name:	MISSOULA COUNTY HIGH SCHOOL DISTRICT #1
Owner Address 1	915 SOUTH AVE W
Owner Address 2	
Owner Address 3	

[Zoom to](#)

**Zoning Legend:**

- CBD-4
- M1-2
- M1R-2
- M2-4
- OP1
- OP2
- OP3
- A
- PUD
- R20
- R215
- R40
- R5.4

Scale: 0.2mi  
Coordinates: -114.024 45.851 Degrees

