

EXECUTIVE SUMMARY

PRESERVATION PERMIT REVIEW

111 N. HIGGINS AVE - ROOFTOP DECK – SEPT 13, 2018

CASE PLANNER:	Emy Scherrer, Historic Preservation Officer
REVIEW ITEM:	111 N. Higgins Ave – Rooftop Deck Addition
APPLICANT:	ALPS Corporation – The Florence Missoula, LLC 111 N. Higgins Ave, Suite 200 P.O. Box 9169 Missoula, MT 59807 406.728.3113
APPLICANT’S REPRESENTATIVE:	Paul Filicetti, Architect, A&E Architects 222 N. Higgins Ave, Missoula, MT 59802
LOCATION OF REQUEST:	111 N. Higgins Ave, Missoula, MT 59802 Downtown Missoula Historic District Legally described as: S22, T13N, R19W, BLOCK 3, LOT(S) 1 - 3, & FRAC OF 4-8 & CP HIGGINS-FRAC OF LOT(S) 16-20 Geocode: 04-2200-22-2-19-03-0000
LEGAL NOTIFICATION:	Title 20.85.085F requires that notice be provided to the Historic Preservation Commission (HPC) one week prior to the issuance of an Historic Preservation Permit (HPP) by the Historic Preservation Officer (HPO) for projects that clearly meet the review criteria established in Title 20.85.085H. The application is also available on the Historic Preservation page on the City of Missoula website at: https://www.ci.missoula.mt.us/1657/Historic-Preservation .
PUBLIC HEARING DATE:	N/A – not required for HPO-reviewed projects
ZONING:	CBD-4
GROWTH POLICY:	The <i>2035 City of Missoula Growth Policy</i>
SURROUNDING LAND USE:	Adjacent (North): CBD-4 Adjacent (East): CBD-4 Adjacent (South): CPD-4 Adjacent (West): CPD-4

ALPS Corporation – The Florence
Missoula, LLC
111 N. Higgins Ave, Suite 200
P.O. Box 9169
Missoula, MT 59807

STAFF DETERMINATION

APPROVE the application

I. RECOMMENDED ACTION

THAT the HPP for the **Rooftop Deck** project be APPROVED by the Missoula HPO, based on the findings of fact in the staff report, and pending the seven day review period per section 20.85.085-F5.

II. INTRODUCTION

An application for an HPP was received by the City of Missoula on September 7th, 2018, for the proposed addition of a removable roof deck system, installation of fixed guardrails, and modifications to extant roof fire escape doors and landings.

Alterations, by ordinance, must be in accordance with *The Secretary of the Interior’s Standards for Rehabilitation of Historic Properties*. The building located at 111 N. Higgins Ave is located within the Missoula Downtown Historic District, is individually listed in the National Register of Historic Places, and is subject to the Missoula historic preservation ordinance requirements of Title 20 of the Missoula Municipal Code. The site is a primary element within the Historic District, which was individually accepted by the Keeper of the National Register in 1992.

The building currently houses office and retail space. The applicant requests approval of the HPP in order to access the roof for use by employees of ALPS corporate headquarters (owner of the building). This modification would provide additional space for the company and would aid in further adapting the building into a usable office setting.

The proposed plan has been established with respect to the historic significance of the building and in an effort to minimize any adverse effect. The proposed work includes (See Appendix A, HPP Application):

The roof deck design calls for modification of extant roof fire escape doors and landings to meet code required access/egress to/from the roof deck, the installation of fixed code compliant guardrails, and the installation of a removable roof deck system set atop the existing membrane roof as indicated in the HPP Application (Appendix A).

* The setback is sufficient to meet roof equipment and service access needs, establish the roof deck size requested from the owner, and, other than distant views of the roof, limit views to the guardrails and protect the historic view of the building as it meets the sky.

SITE HISTORY & DESCRIPTION

The current Florence Hotel building represents the third in a series of large hotels which have occupied the site. The first Florence Hotel, constructed in 1888, burned in 1913. A second hotel was constructed at the same location after the 1913 fire and gained recognition for being the largest Montana hotel west of Butte and Helena. This hotel, which contained one hundred and six guest rooms, was, like her predecessor, destroyed by a fire in October of 1936. Built between 1940 and 1941 by Spokane architect Gustave Albin Pehrson, the current Florence is an awesome example of the Art Moderne style. The

building was constructed of reinforced concrete with the main component extending seven stories above street level, with a one story wing which extends westward along Front Street.

The exterior of the building presents a design of streamlined simplicity, with a futuristic impression. Parallel modern lines and smooth-faced concrete piers dominate the facade of the building (east elevation). While architectural concrete makes up the vertical members, the spandrels and horizontal members of the walls are finished with terracotta tiles. A continuous horizontal banding of terracotta tile wraps the south and east facades, separating the first floor retail space from the upper stories. These spandrels and the continuous band establish the strong horizontal emphasis which characterizes Art Moderne structures.

Prominent square window bays form vertical tiers up the east, west and south elevations. The window tier above the primary lobby entrance in the east elevation is enhanced by projecting glass block balconies, and by a decorative cap that rises above the parapet of the building. The predominant hard line design of the building is softened by the use of curved glass blocks on the southeast and northeast corners. This treatment is echoed on the corners of the ornamental balconies. The north elevation of the building, facing the alley, is devoid of the tile, glass block, and window bays that characterize the rest of the building.

Storefront entrances and associated display windows are divided vertically by terracotta tiles above polished black granite bases. The granite covers the concrete piers which support the building. Non-structural carrara black glass faces the bases under the show windows' plate glass. Satin-finished aluminum and plate glass settings adorn the fronts, awning box cornices over the storefronts, and the marquees over the entrances into the hotel. The use of minimal joints and a smooth-shiny surface contributes to the storefronts' streamlined design.

The Florence retains a high degree of integrity in design, materials, workmanship, association, setting and is located in the heart-of-Missoula neighborhood on the northwest block at the corner of Front and Higgins, and is a major contributing element to the Missoula Downtown National Historic District.

IV. APPLICABLE ZONING REGULATIONS

Title 20 Zoning Ordinance, Section 20.85.085H outlines the criteria for review of HPP applications. Regarding CBD-4 permitted uses, the proposed use is permitted and requires no additional discretionary approval.

V. REQUEST FOR HISTORIC PRESERVATION OFFICER/COMMISSION APPROVAL

Staff intends to approve the HPP for the **Rooftop Deck** at 111 N. Higgins Ave as submitted, pending the seven-day review period per the approval process delineated in the City of Missoula's zoning ordinance: Chapter 20.85.085F5c. If, after one week, an HPC hearing is not requested, then the HPO will process a Record of Decision (ROD) and approve the HPP for this project.

Except as otherwise approved in section 20.30, the characteristics of an historic resource that qualify it for designation shall be preserved and existing setbacks illustrating historic patterns of development shall be retained. Before issuing an HPP for alterations or new construction, the HPO shall consider the cumulative effects on the integrity of the city's historic resources resulting from the requested HPP, any other pending HPP applications, and any previously issued HPPs. The HPO shall also review the HPP application for compliance with the *Secretary of the Interior's Standards for Rehabilitation* and/or any applicable design guidelines with the following criteria:

REVIEW CRITERIA

The building located at 111 N. Higgins Ave is reviewed pursuant to the criteria for review listed in Title 20 Zoning Ordinance, *Section 20.85.085H*, and the *Secretary of the Interior's Standards for Rehabilitation*. (*Standard in italics*, Staff Findings and Staff Conclusions follows).

The following demonstrates compliance with the Design Guidelines set forth in Sections 20.85.085H, and the *Secretary of the Interior's Standards for Rehabilitation*.

SECTION 20.85.085H:

H-a.) Requirement: *"The characteristics of an historic resource that qualify it for designation shall be preserved and existing setbacks illustrating historic patterns of development shall be retained."*

FINDINGS OF FACT: The proposed alterations would have minimal site disturbance, as views/interaction with the roof would be limited given the setback off the proposed deck.

STAFF CONCLUSION: Meets the criterion.

H-b.) *Before issuing an HPP for alterations or new construction, the Historic Preservation Commission shall consider the cumulative effects on the integrity of the city's historic resources resulting from the requested HPP, any other pending HPP applications, and any previously issued HPPs.*

FINDINGS OF FACT: The proposed alterations fit within the purpose of the rehabilitated use and aid in the continued appreciation of the overall site. Alterations are planned for minimal disturbance to the pedestrian view-scape. The current owner, ALPS Corporation, is a steward in historic preservation, has worked closely with the HPC in prior alterations, and has won two Historic Preservation Awards for a compatible addition and the restoration of the grand lobby. The cumulative effect of this HPP is balanced by previous restoration efforts and sensitive design solutions as submitted in this application.

STAFF CONCLUSION: Meets the criterion.

H1.) *Alterations shall be compatible with the relevant characteristics or character defining features that qualify the Historic resource for designation and shall not diminish, eliminate, or adversely affect the historic character of the Historic resource. Consideration shall include, but not be limited to, elements of: Size, Scale, Lot coverage, Massing, Proportion, Architectural style, Orientation, Surface textures and patterns, Details and embellishments, Relationship of these elements to one another.*

FINDINGS OF FACT: The inter-relationship of *Size, Scale, Lot Coverage, Massing, Proportion, Architectural Style, Orientation, Surface Textures and Patterns, Details and Embellishments* in the design proposal serves to minimize adverse impact on the historic character of 111 N. Higgins Ave in general, does not alter patterning, retains elements of character-defining detailing, differentiates the old from the new, and aids in the adaptive reuse of the building.

STAFF CONCLUSION: Meets the criterion.

H2.) *New construction in historic overlay districts is not required to conform to specific architectural styles. Design of new construction shall be compatible with the character of historic resources in the immediate area, but shall distinguish itself from historic resources and not create a false sense of history.*

FINDINGS OF FACT: No new construction is proposed.

STAFF CONCLUSION: Meets the criterion.

H3.) *Alternative materials may be substituted for original materials when they have the same dimensions and form as original materials.*

FINDINGS OF FACT: N/A

STAFF CONCLUSION: N/A

H4.) *Photovoltaic and solar hot water equipment are permitted and are not subject to this ordinance.*

FINDINGS OF FACT: No photovoltaic and solar hot water equipment are proposed.

STAFF CONCLUSION: N/A

FINDINGS AND CONCLUSIONS:

Missoula Zoning Ordinance Section 20.85.085H

The historical architectural features that distinguish 111 N. Higgins Ave will be minimally effected. The proposed alterations serve to improve working conditions for the building's contemporary use, yet will be differentiated as to preserve the overall historicity of the site. The proposed alterations will not substantially diminish, eliminate, or adversely effect the historic integrity of the original building, and have been designed with a setback so as not to be seen by pedestrians.

STAFF CONCLUSION: Project SUBSTANTIALLY MEETS CRITERIA established in Section 20.85.085H.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION OF HISTORIC PROPERTIES:

The Secretary of the Interior's Standards for Rehabilitation are ten basic principles created to help preserve the distinctive character of a historic building and its site.

The Standards (36 CFR PART 67) apply to historic buildings of all periods, styles, types, materials, and sizes, and to both the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent, or related new construction.

The Standards are applied to projects in a reasonable manner, taking into consideration economic and technical feasibility.

Standard #1) *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

FINDINGS OF FACT: Between 1975 and 1989, the majority of the upper original hotel guest rooms and corridors were adaptively reused into office space. Restoration efforts focused on rehabilitation and reproduction of architectural elements and Art Moderne features previously removed during the 1970s and 80s. The proposed alterations will be used for this adapted purpose and requires no change to character-defining features.

STAFF CONCLUSION: Meets the standard.

Standard #2) *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

FINDINGS OF FACT: No permanent or structural modification necessary to support a shading device, canopy or awning are a part of this application and no removal/alteration of historic materials or features is proposed. This application is specific to egress modifications and installation of fixed, code required guardrails and removable roof deck system. The selection of this specific removable roof deck system will allow for maintenance and/or replacement of the roof membrane in the future.

STAFF CONCLUSION: Meets the standard.

Standard #3) *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

FINDINGS OF FACT: Conjectural features of false history will not be added. Alterations will be minimally, if at all, visible to the public and will be clearly distinguishable as a later addition in an effort to dissuade false interpretation.

STAFF CONCLUSION: Meets the standard.

Standard #4) *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

FINDINGS OF FACT: The proposed project will be an alteration for the rehabilitated use which has been in existence for nearly 30 years.

STAFF CONCLUSION: The project will not adversely affect acquired significance. Meets the standard.

Standard #5) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

FINDINGS OF FACT: Distinctive features and finishes will be unaffected, and special care and awareness of historic significance will be honored by the contractors.

STAFF CONCLUSION: The applicant has stated their awareness of the building's historic significance and character-defining features. Meets the standard.

Standard #6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

FINDINGS OF FACT: No historically significant features are proposed to be repaired or replaced in this application.

STAFF CONCLUSION: Meets the standard.

Standard #7) *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

FINDINGS OF FACT: No chemical or physical treatments are planned for the project.

STAFF CONCLUSION: Meets the standard.

Standard #8) *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

FINDINGS OF FACT: The project does not require digging.

STAFF CONCLUSION: Meets the standard.

Standard #9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

FINDINGS OF FACT: The proposed alterations fit within the context of the existing character-defining features, yet remain distinguishable to preserve the historic integrity of the building in general. The proposed egress alterations will not obstruct the setting, feel, location, or association with the building and honors existing materials to the extent possible. The deck and guardrails will be located with a setback which minimally affects the pedestrian view-scape.

STAFF CONCLUSION: Meets the standard.

Standard #10) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

FINDINGS OF FACT: The requirements for this project have been designed to be removable, and if removed would not obstruct the essential form and integrity of the historic property and its environment.

STAFF CONCLUSION: Meets the standard.

Cumulative Effect:

INTENT: Alteration to a rehabilitated building in accordance with the Secretary of the Interior’s Standards for the Rehabilitation of Historic Properties.

SCOPE OF WORK: The modification of extant roof fire escape doors and landings to meet code required access/egress to/from the roof deck, the installation of fixed code compliant guardrails, and the installation of a removable roof deck system set atop an existing membrane roof.

INTENDED USE: Office space/meeting area.

FINDINGS OF FACT: There are currently no other HPP sites in the vicinity, and there are other historic sites in the vicinity, but would not be adversely affected by this proposal.

STAFF CONCLUSION: There are no cumulative adverse effects on HPP sites with this proposal. Project SUBSTANTIALLY MEETS the Secretary of the Interior’s Standards for Rehabilitation.

VI. STAFF CONCLUSIONS AND RECOMMENDATIONS

CONCLUSION:

The major historical architectural features that distinguish 111 N. Higgins Ave will not be adversely effected. The proposed alterations fit within the context of the existing site, yet remain distinguishable to preserve the integrity of the building. The alterations are similar in scale to the existing openings, and utilize sensitive building materials and design in order to define the distinct historic character of the primary building, and are removable. Proposed changes would minimally alter the pedestrian view and interaction with the building, as they are located on the roof with sufficient setback of 6’. The roof deck would serve to enhance current working conditions, and reference the rehabilitated use and contemporary need as office space. There are currently no other HPP sites in the vicinity, and there are other historic sites in the vicinity, but would not be adversely affected by this proposal. The proposed project substantially meets the design review criteria set forth in Section V of this report and will not diminish, eliminate, or adversely effect the historic character and integrity of 111 N. Higgins Ave or the Downtown Historic District as a whole.

RECOMMENDED MOTION:

THAT the alterations to the roof of the building located at 111 N. Higgins Ave be APPROVED.

VII. ATTACHEMENTS

A- HISTORIC PRESERVATION PERMIT APPLICATION

APPENDIX A

HISTORIC PRESERVATION PERMIT APPLICATION



DEVELOPMENT SERVICES

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX: (406) 552-6053

HISTORIC PRESERVATION PERMIT APPLICATION HPP FOR ALTERATIONS

GENERAL INFORMATION

Name of Property (if applicable): The Florence Building

Property Address: 111 North Higgins Ave.

Property Owner Name: ALPS

Address: 111 North Higgins Ave., Suite 200, Missoula, MT 59802

Phone: (406) 728-3113

Applicant (ex. Architect): A&E Architects

Address: 222 North Higgins Ave., Missoula MT, 59802

Phone: (406) 721-5643

SITE INFORMATION

Legal Description

Lot(s): 1-3,4-8, 16-20 Block(s): 2

Subdivision: Missoula Original Townsite Township: T13 N

Range: 19W Section: 22

Zoning: CBD-4 Sq. Footage: (existing, no change)

APPLICATION CHECKLIST

Please provide one (1) electronic copy (PDF format) of each of the following, and attach all required supporting information to this application:

- HPP Application
- Project Narrative
- National Register Nomination
- Historic Photographs
- Detailed Project Site Map and/or Site Plan
- Exterior Elevations with Descriptions
- Contemporary Photographs

I hereby attest that the information on this form is accurate and complete.

Applicant Signature:

X.

Date: 1-7-18

Owner Signature:

X.

Date: 09/07/2018

THIS PLACE MATTERS



Florence Building Roof Deck Project Narrative

The Florence Building - Roof Deck
111 North Higgins Avenue
Missoula, Montana 59801

September 7, 2018

The National Register Listed Florence Hotel, known locally as the Florence Building, located at 111 North Higgins Avenue was completed in 1941. Architect Gustave Albin Pehrson (1882-1968) of Spokane, Washington designed the building in the Art Moderne style. Rectangular in massing, the main building as originally constructed is seven stories with a single story wing that extends west along Front Street. The building retains a high degree of architectural character and integrity.

Between 1975 and 1989, the majority of the upper original hotel guest rooms and corridors were adaptively reused to office spaces. Other efforts in the early part of the 21st Century focused on restoration, rehabilitation, and reproduction of architectural elements and Art Moderne features removed in the 1970s and 1980s from the hotel Lobby, Governor's Room, and McLeod Room. Elements now evident in these areas reflect a major restoration and reconstruction effort by ALPS Corporation ("ALPS"), a major building tenant and ultimate building owner (the property is held by The Florence Missoula, LLC, which is fully owned by ALPS).

In 1990s, the Missoula Historic Preservation Commission awarded the Florence Building for a compatible addition that occurs above the single story wing extending west along Front Street elevation. In 2004, the Missoula Historic Preservation Commission awarded the building for the interior restoration of the hotel registration desk and grand Lobby. In 2017, the Florence Building received, in conjunction with permitted alteration of the 6th and 7th floors for ALPS' Corporate Headquarters, Historic Preservation Permit approval for alteration of several west elevation windows of the 6th and 7th floors.

As construction of ALPS' Corporate Headquarters nears completion, they have initiated a project to install an outdoor deck to the roof of the building. No permanent or structural modification necessary to support a shading device, canopy or awning are a part of this Application. This Application is specific to egress modifications and installation of fixed, code required guardrails and removable roof deck system. The selection of this specific removable roof deck system will allow for maintenance and/or replacement of the roof membrane in the future.

The roof deck design calls for modification of extant roof fire escape doors and landings to meet code required access/egress to/from the roof deck, the installation of fixed code compliant guardrails, and the installation of a removable roof deck system set atop the existing membrane roof as indicated on the attached *Florence Building – ALPS Roof Deck* permit drawings dated 08.27.18.

The roof deck and guardrail will be setback from the parapet as indicated. The setback is sufficient to meet roof equipment and service access needs, establish the roof deck size requested from the Owner, and, other than distant views of the roof, limit views to the guardrails and protect the historic view of the building as it meets the sky. Any other roof deck fixtures or furnishings, including but not limited to tables, seating, and shading devices, will be movable and installed /removed seasonally by ALPS.

The improvement outlined in this Application will have no visual impact to the building elevations or signature Art Modern style. This alteration allows ALPS, the preservation steward of the Florence Building since the 1990s, sole access to the roof deck.



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MAY 18 1992

United States Department of the Interior
National Park Service

NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM

NATIONAL
REGISTER

1. Name of Property

historic name: Florence Hotel

other name/site number: 24MO702

2. Location

street & number: 111 N. Higgins

not for publication: n/a
vicinity: n/a

city/town: Missoula

state: Montana

code: MT

county: Missoula

code: 063

zip code: 59801

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this X nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property X meets does not meet the National Register Criteria. I recommend that this property be considered significant nationally X statewide X locally. (See continuation sheet for additional comments.)

Maurel Sheff MT SHPO 5-8-92
Signature of certifying official/Title Date

Montana State Historic Preservation Office
State or Federal agency or bureau

In my opinion, the property meets does not meet the National Register criteria.

Signature of commenting or other official Date

State or Federal agency and bureau

4. National Park Service Certification

I, hereby certify that this property is:

Signature of the Keeper

~~Entered in the~~
National Register Date of Action

entered in the National Register
 see continuation sheet

Delores Byers 6/18/92

 determined eligible for the
National Register

 see continuation sheet
 determined not eligible for the
National Register

 see continuation sheet
 removed from the National Register

 see continuation sheet
 other (explain): _____

5. Classification

Ownership of Property: Private

Category of Property: Building(s)

Number of Resources within Property

Contributing	Noncontributing
<u>1</u>	___ building(s)
___	___ sites
___	___ structures
___	___ objects
<u>1</u>	___ Total

Number of contributing resources previously listed in the National Register: 0

Name of related multiple property listing: Historic Resources of Missoula, Montana

6. Function or Use

Historic Functions:

Domestic: hotel
Commerce/Trade: restaurant,
specialty store

Current Functions:

Commerce/Trade: restaurant,
specialty store, business

7. Description

Architectural Classification:

Modern Movement: Moderne

Materials:

foundation: concrete
walls: concrete, terra cotta
roof: asphalt

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets.)

The Florence Hotel is an Art Moderne style hotel building constructed of reinforced concrete. Basically rectangular in massing, the main component extends seven stories above street level, with a one story wing which extends westward along Front Street. Public entrances and storefronts face Higgins Avenue and Front Street; deliveries are made via a freight entrance that opens onto a mid-block alley on the north side of the building.

The exterior of the hotel presents a design of streamlined simplicity, with a futuristic impression. Parallel modern lines and smooth-faced concrete piers dominate the facade of the building. While architectural concrete makes up the vertical members, the spandrels and horizontal members of the walls are finished with terra cotta tiles. A continuous horizontal banding of terra cotta tile wraps the south and east facades, separating the first floor retail space from the upper stories. These spandrels and the continuous band establish the strong horizontal emphasis which characterizes Art Moderne structures.

Prominent square window bays form vertical tiers up the east, west and south elevations. The window tier above the primary lobby entrance in the east elevation is enhanced by projecting glass block balconies, and by a decorative cap that rises above the parapet of the building. The predominant hard line design of the building is softened by the use of curved

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National Park Service

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Florence Hotel, Missoula

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glass blocks on the southeast and northeast corners. This treatment is echoed on the corners of the ornamental balconies. The north elevation of the building, facing the alley, is devoid of the tile, glass block, and window bays that characterize the rest of the building.

The south and east elevations of the first floor contain the public entries into the main lobby, as well as the store fronts with entries and display windows. The primary entrance, centered on the east elevation, originally was flanked on either side by two recessed storefront entries. However, the southern-most entry has been moved to the corner of the building and is currently covered with an awning. Also, the first storefront north of the main entrance has been altered and closed. The south elevation contains two public entries which lead to the main lobby, and four additional entries into retail stores and/or offices.

Storefront entrances and associated display windows are divided vertically by terra cotta tiles above polished black granite bases. The granite covers the concrete piers which support the building. Non-structural carrara black glass faces the bases under the show windows' plate glass. Satin-finished aluminum and plate glass settings adorn the fronts, awning box cornices over the storefronts, and the marquees over the entrances into the hotel. The use of minimal joints and a smooth-shiny surface contributes to the storefronts' streamlined design.

The interior of the hotel contained 141 rooms when it opened in 1941. Wide entrance arcades allowed access from either Higgins Avenue or Front Street into the hotel's ornate lobby. A large fireplace, with a facing of travertine and verde antique marble, a mantel made of architectural bronze, and the flue paneled in California redwood, served as the focal point of the lobby. (This fireplace remains in place, although "hidden" by furnishings associated with the lounge that now occupies the original lobby.) The lobby's floor is divided into 18" x 18" square fields of green and gold terrazzo, divided by heavy bronze strips.

The lobby's base boards, arcades, and columns are finished with verde antique marble. All of the walls displayed wainscoting of rose and tan travertine marble, and a raised trim with a geometric pattern edges the ceiling. Formerly, California redwood trim surrounded large glass block windows on the south side of the lobby and lined the mezzanine floor and beams on the ceiling. Art Moderne fixtures lined the walls and hung from the ceiling.

The staircase and elevators leading to the basement and upper floors, also display ornamentation. Monolithic terrazzo stairs of a golden cream color feature railings of architectural bronze with mahogany hand rails, and lead from the first floor down to the basement, and up to the second floor. Satin-finished architectural bronze also covers the elevator doors and mail box trim.

The hotel's fashionable interior and modern technological features attracted many guests. Guest rooms throughout the hotel played on a variety of color schemes, with each room containing matching carpeting and draperies. Either Eighteenth Century mahogany furniture or natural walnut furniture occupied the rooms. Perhaps most important to the guests, all rooms in the hotel included the modern feature of air conditioning. It stood as the only hotel in the Northwest with a central air-conditioning system in the early 1940s.

The architect designed the Florence Hotel to accommodate two additional stories for future space. In addition, it was designed to endure earthquakes, vibrations, sound, expansion, and contraction. Specific features that add to the building's stability include reinforced concrete stairways and shafts, as well as floor slab suspension.

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Section number 7

Florence Hotel, Missoula

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When the Florence Hotel was designed, plans were laid to add an interior multi-level parking garage, no doubt in response to the boom in automotive transportation in Montana and the United States during the 1930s and 1940s. Indicated on the original plans but not illustrated, the garage apparently was designed and added to the west side of the building about a year later. The garage included a total of five parking levels, only two of which were above-ground. The lower three levels and the uppermost level are no longer in use. The parking garage retained the Art Moderne style of architecture, and the continuous terra cotta banding which wraps the primary facades was extended to visually tie the garage into the original design. The facade also exhibited a flat concrete surface, except for the two garage doors.

The Florence Hotel currently retains a high degree of its historic integrity. With the exceptions in the appearance of the storefronts noted above, the exterior of the building retains its original configuration. However, between 1975 and 1989, the upper floors, which formerly contained guest rooms, were remodeled to include office space. Transforming the top five floors into office space involved gutting each floor, with the exception of several bathrooms. On the first floor, however, a majority of the Art Moderne elements were either retained or reconstructed during remodeling. The primary change involved the use of gypsum board to enclose the majority of the area once included in the lobby. It is this new space that is currently occupied by the lounge. Although this area is enclosed, the original interior columns remain in place, and this modification can be considered a reversible one. Art Moderne characteristics adorning the present lobby include a geometric design on the ceiling, travertine wainscoting, light fixtures, a terrazzo floor, and the architectural bronze and mahogany hand rails along the stairs.

The second floor exhibits its original construction and decoration, except for a portion of the open lobby which has been enclosed with glass and aluminum walls to divide the floor into office space. This also can be considered a reversible alteration.

Other alterations include replacement of the windows on the third, sixth, and seventh floors. However, these also are double-paned aluminum-framed windows, specifically chosen to match the Art Moderne style, and do not conflict with the building's original character. Two stuccoed panels have replaced original terra cotta banding on the south facade of the garage.

Missoula's downtown currently consists of predominantly two- to four-story commercial and public buildings of brick, stone, and concrete construction. This skyline is varied by the seven-story Florence building, the nine-story Smead-Simons Building (Wilma Theatre), and the six-story Montana Bank Building. Modern commercial development and open parking lots intrude upon the historic character of the downtown district.

The Florence occupies the entire southwest half of the block at the corner of Higgins and Front. Adjacent buildings reflect all phases of downtown development. The Missoula Mercantile and less prominent one- and two-story structures lining the east and west sides of the block were built between 1880 and 1920 during a period of sustained local growth generated by the arrival of the Northern Pacific and the Chicago, Milwaukee, St. Paul and Pacific Railroad. While they retain the spatial relations typical of the historic period, the majority of the facades have been extensively remodeled. The Art Deco Hammond Arcade and the Art Moderne Florence reflect the limited commercial development of the 1930s and 1940s. The First Interstate Bank dates to the modern period.

8. Statement of Significance

Certifying official has considered the significance of this property in relation to other properties: Locally, Statewide

Applicable National Register Criteria: A, C

Areas of Significance: Architecture
Commerce

Criteria Considerations (Exceptions): n/a

Period(s) of Significance: 1941-1942

Significant Person(s): n/a

Significant Dates: 1941

Cultural Affiliation: n/a

Architect/Builder: G.A. Pehrson, architect
Alloway and George, contractors

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

The Florence Hotel is an influential building associated with mid-20th century commercial development in Missoula's downtown business district, and is significant in a local context under criterion A. For its architectural qualities it gains statewide significance under criterion C, as a leading example of Art Moderne architecture, and as an example of the work of architect G.A. Pehrson.

Historical Significance

Although the Missoula downtown area was platted as early as 1866, Missoula commercial development did not begin in earnest until the 1883 arrival of the Northern Pacific Railroad. Missoula, division headquarters for the Railway, became the distribution center for the five adjoining valleys and, between 1880-1920, increased in population from 300 to 12,000. Although the majority of historic commercial buildings in Missoula date to this period of development, limited commercial development continued through the 1940s despite the financial constraints associated with the Depression and WWII.

The northwest corner of Front Street and Higgins Avenue has historically marked the southern boundary of a central commercial district defined by the railroad right of way to the north, Pattee Street to the east, and Woody Street to the west. The current Florence Hotel building represents the third in a series of large hotels which have occupied the site. The first Florence Hotel, constructed in 1888, burned in 1913. A second hotel was constructed at the same location after the 1913 fire and gained recognition for being the largest Montana hotel west of Butte and Helena. This hotel, which contained one hundred and six guest rooms, was totally destroyed by a fire in October of 1936.

Upon the destruction of the hotel in 1936, the Missoula Mercantile Company, presided over by Walter H. McLeod, responded to the community's urgent need for a new hotel. McLeod and several other influential downtown businessmen, banded together to secure financing and to promote construction. These men justified the need for a new hotel with a host of economic concerns. First, situated within the only intermountain corridor between Glacier National Park and Utah, the city of Missoula accommodated many travelers. Second, two transcontinental mainline railroads, serving five fertile valleys, passed through Missoula. Third, five highways, including two interstate highways, passed nearby Missoula.¹ Fourth, facts gathered and published by the Northwestern Hotel Association in 1939 showed that the hotel business had increased 7% over the past year and was expected to expand in the future.²

See continuation sheets

¹McLeod Collection, Box 77, File 4.

²McLeod Collection, Box 78, File 1.

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National Park Service

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Section number 8

Florence Hotel, Missoula

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The architectural firm of Hugill and Blatherwick received the first commission to design the Florence Hotel in 1937.³ After completion of the plans in 1938, the Mercantile Company stalled construction for lack of sufficient funds to pay the approximate total of \$775,000 for the lot and building.⁴

Furthermore, the Mercantile Company needed to wait for the high craftsmen's wages to decrease.⁵ To make up for the funding shortage, the Mercantile Company and the Chamber of Commerce appealed to local citizens to contribute to the construction costs of the hotel. The appeal for money played upon the fact that the hotel would raise city real estate values, increase the money circulation, and enlarge and enliven the downtown business community.⁶ Upon the eventual completion of the hotel in 1941, the Mercantile Company owned 67% and community shareholders owned the rest of the building.⁷

Dissatisfaction with Hugill and Blatherwick's hotel plans prompted the Mercantile Company to look for a new architect.⁸ G. A. Pehrson, a Spokane architect, had worked previously for a Chicago architectural firm and supervised the construction of the Davenport Hotel in Spokane, Washington. Under the recommendation of Louis M. Davenport, president of the Davenport Hotel, the Mercantile Company commissioned Pehrson to design the new Florence Hotel in 1939. By April of 1940, the Spokane architect had completed the plans and one month later, the Mercantile Company hired the firm of Alloway and George to construct the hotel.⁹

In terms of the community, the hotel provided employment for over 100 people. During World War II, the hotel even employed Italian prisoners of war held at Fort Missoula.¹⁰ Besides employment, Missoula residents used the hotel for a gathering place. Most of the important community functions took place at the Florence Hotel. Missoulians took pride in the fact that they had contributed financially to the construction of the elegant hotel.

Architectural Significance

The third generation Florence was a "new and modern hotel to fit in with the other leading hotels of the Northwest." The local newspaper noted approvingly that the appearance of Higgins Avenue was "radically altered by the structure." Designed to be one of the great modern hosteleries in the Northwest, the 1941 construction of the Florence reflected both Missoula's continued importance as a Northwest supply center and the increasing importance of the tourist industry to Missoula's economy.

³McLeod Collection, Box 77.

⁴McLeod Collection, Box 77, File 14.

⁵McLeod Collection, Box 77, File 11.

⁶*Missoulian*, June 16, 1941.

⁷Bell, Mary, Oral History Interview, 1979.

⁸McLeod Collection, Box 77, File 11.

⁹*Missoulian*, June 16, 1941.

¹⁰Bell, Mary, Oral History Interview, 1979.

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National Park Service

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Section number 8

Florence Hotel, Missoula

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After construction was completed in June of 1941, the new \$600,000 building looked noticeably different from the rest of Missoula's downtown buildings, which consisted mainly of brick buildings designed in Victorian commercial styles.¹¹ The hotel's strong horizontal lines, reinforced concrete structural soundness, and large use of windows strongly tie the building to its modern counterparts constructed across the country. Additionally, the parallel straight line motifs, flat-faced concrete and metal exterior, terra cotta accents, and streamlined and futuristic elements highlight the Art Moderne style.

The masterful and unique design in the Art Moderne style contrasts with that of surrounding downtown Missoula buildings. The Art Moderne style, popularly used in the design of commercial buildings between the years of 1930 and 1945, has been described as the earliest United States architectural style able to detach itself from the revivalist tradition. This style is best known from examples found in large eastern cities, such as New York. Thus the presence of the Art Moderne Florence building in Missoula, Montana is representative of the spread of architectural styles through various regions of the country. The Florence is also representative of a country-wide trend of the 1930s and 1940s to establish modern hotels in communities of fewer than 25,000 people.¹²

Because the 1930s and 1940s were a time of limited development, Missoula's downtown contains few examples of modern architecture. The Missoula laundry (1928), the Hammond Arcade (1933-1934), and the east side of the Palace Hotel (1941) demonstrate Art Deco detailing. Art Moderne structures in addition to the Florence are limited to Zip Auto Service (1937). Statewide examples include the Greyhound Station in Great Falls, Club Moderne in Anaconda, a body of Works Progress Administration (WPA) development, and a myriad of remodeled storefronts.

Architect G.A. Pehrson began his architectural career in Chicago before moving to Spokane to supervise construction of the Davenport Hotel. He later designed two additions to this historic building. His body of work includes numerous Art Moderne residences in the Spokane area, designed during his thirty years with the noted Spokane architecture firm of Cutter and Malmgram. To date, the Florence Hotel is the only example of his work identified in Montana.

Between 1975 and 1989, the hotel's owner John Hayden, converted the areas formerly occupied by guest rooms into office space; however, the exterior of the building was primarily left intact. In 1990, six partners in the law firm of Worden, Thane and Haines (Florence Associates) bought the Florence. Besides attracting tenants into the building, returning the Florence to its original "first-class" classification remains a high priority for the partners.¹³ Today, the hotel stands as a significant example of the Art Moderne style of architecture and a focal point of civic pride.

¹¹Missoulian, June 17, 1941.

¹²McLeod Collection, Box 79, File 7.

¹³Missoulian, June 16, 1991.

9. Major Bibliographic References

Bibliography

See continuation sheet for Section 9

Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested.
 previously listed in the National Register
 previously determined eligible by the National Register
 designated a National Historic Landmark
 recorded by Historic American Buildings Survey # _____
 recorded by Historic American Engineering Record # _____

Primary Location of Additional Data:

- State Historic Preservation Office
 Other State agency
 Federal agency
 Local government
 University
 Other - Specify Repository:

10. Geographical Data

Acreage of Property: Less than one acre

UTM References: Zone Easting Northing
 A 12 271800 5194900

Verbal Boundary Description

The Florence Hotel is located in the NW $\frac{1}{4}$, NW $\frac{1}{4}$, SW $\frac{1}{4}$ of Section 22, T13N, R19W. The legal description of the property is as follows: A tract of land situated partly in Block 3 of Original Townsite of Missoula, Montana, and partly in Block 27, C.P. Higgins Addition, Missoula County, Montana, which said tract is particularly described as follows: Beginning at the Southeasterly corner of the building now occupied by the Florence Hotel, which corner bears N 33° 34' 15" W, a distance of 60.06 feet from the center of the manhole at Front Street and Higgins Avenue; Thence N 19° 49' 25" E, along the building line, for a distance of 164.38 feet, this being along the West boundary line of Higgins Avenue; Thence N 70° 38' 55" W, along the building line on the Southerly side of an alley for a distance of 116.25 feet to a building corner; Thence along said building line projected N 70° 38' 55" W, a distance of 59.79 feet; Thence S 36° 08' 25" W, a distance of 4.76 feet to the Northwesterly corner of the building; Thence S 36° 08' 25" W, along the building line a distance of 122.31 feet to the Southwesterly corner of the building, said corner bearing N 62° 18' 30" E, a distance of 166.17 feet from the center of the manhole at Front Street and Ryman Street; Thence S 52° 08' 40" E, along the building line and the North side of West Front Street, a distance of 29.87 feet to an angle point on this building line; Thence S 60° 21' 20" E, a distance of 186.05 feet to the Southeast corner of said building, and the Point of Beginning, Missoula County, Montana.

Boundary Justification

The boundary includes the entire city lot that has historically been associated with the building.

11. Form Prepared By

name/title: Beth Butterfield, Research Assistant
organization: Historical Research Associates, Inc. date: August 15, 1991
street & number: P.O. Box 7086 telephone: 406/721-1958
city or town: Missoula state: MT zip code: 59807-7086

Property Owner

name/title: Carol Williams, Florence Associates
street & number: 111 N. Higgins telephone: 406/721-3400
city or town: Missoula state: MT zip code: 59802

Historic Photographs



Image 1: A McKay photo looking southwest to the north elevation and Higgins Avenue elevation of the Florence Hotel.



Image 2: Another McKay photo looking northwest to the south (Front Street) and Higgins Avenue elevations of the Florence Hotel.

Historic Photographs



Image 3: A McKay view looking northwest to the south (Front Street) and Higgins Avenue elevations of the Florence Hotel.



Image 4: A postcard view looking to the south (Front Street) and Higgins Avenue elevations of the Florence Hotel. The parking garage tower no longer exists and the open roof deck of the second floor is now infilled to accommodate ALPS office space.

Contemporary Photos



Image 5: Photo looking to the west elevation from Stockman's Bar on Front Street.



Image 6: Photo looking to the west elevation from Montgomery Distillery on Front Street.

Contemporary Photos



Image 7: Distant view looking to the west elevation from Grizzly Hackle Fly Shop on Front Street.



Image 8: Another distant view looking to the west elevation from Tamarack Brewing on Front Street.

Contemporary Photos



Image 9: View looking southwest to the Higgins Ave. or east elevation of the building.



Image 10: View looking west from the corner of Front Street and Higgins Ave.

Contemporary Photos



Image 11: View looking north to the south elevation from the corner of Front Street.

ARCHITECTURAL ABBREVIATIONS

AB ANCHOR BOLT	EQUIP EQUIPMENT	MECH MECHANICAL	SGL SPRAY APPLIED FIRE RESISTANT
ABV ABOVE	EWG ELECTRIC WATER COOLER	MEZZ MEZZANINE	SINGLE SINGLE
A/C AIR CONDITIONING	EZH EXHAUST	MFR MANUFACTURER	SHIT SHEET
ACT ACCT ACILING TILE	EXTX EXISTING	MH MANHOLE	SHR SHEATHING
ADDL ADDITIONAL	EXP EXPANSION OR EXPOSED	MIN MINIMUM	SIM SIMILAR
ADJ ADJUSTABLE	EXT EXTERIOR	MISC MISCELLANEOUS	SPECS SPECIFICATIONS
AF AFRO FINISH FLOOR	FACP FIRE ALARM CONTROL PANEL	MO MASONRY OPENING	SOD SLAB ON GRADE
ALT ALTERNATE	FD FLOOR DRAIN	MTL METAL	SOG SLAB ON GRADE
ALUM ALUMINUM	FE FIRE EXTINGUISHER	N NORTH	SOH SAME OPPOSITE HAND
ARCH ARCHITECT(URAL)	FEC FIRE EXTINGUISHER CABINET	(N) NEW	SS STAINLESS STEEL
AWN AWNING	FFL FINISH FLOOR LEVEL	NIC NOT IN CONTRACT	ST STONE TILE
B/ BOTTOM OF	FIN FINISH	NOM NOMINAL	STND STANDARD
BD BOARD	FKXT FIXTURE	NTS NOT TO SCALE	STL STEEL
BLDG BUILDING	FLR FLOOR	OC ON CENTER	STRUCT STRUCTURAL
BLKG BLOCKING	FND FOUNDATION	OD OUTSIDE DIAMETER/	TEL TELEPHONE
BM BEAM OR BENCHMARK	FR FRAME	OVERFLOW DRAIN	TEMP TEMPERED
BRG BEARING	FRMG FRAMING	OPNG OPENING	THK THICK
BTWN BETWEEN	FT FEET/FOOT OR FIRE TREATED	OPP OPPOSITE	THRESH THRESHOLD
BUR BUILT-UP ROOF	FTMG FOOTING	OSB ORIENTED STRAND BOARD	T.A. TOP OF
CAB CABINET	FBP FIBERGLASS REINFORCED PANEL	OVHD OVERHEAD	T.O.B. TOP OF BEAM
CJ CONTROL JOINT	GA GAUGE OR GAGE	PL PLATE	T.O.P. TOP OF PLATE
CL CENTERLINE	GALV GALVANIZED	PLAM PLUMBING	T.O.S. TOP OF STEEL
CLG CEILING	GB GYPSUM BOARD	PNT PAINT	T/ TOP OF
CMU CONCRETE MASONRY UNIT	GC GENERAL CONTRACTOR	PLYWD PLYWOOD	T&G TONGUE AND GROOVE
CO CLEAN OUT	GL GLASS, GLAZING	PNL PANEL	TRANS TRANSOM
COL COLUMN	GWB GYPSUM WALL BOARD	PNT PAINT	TV TELEVISION
CONC CONCRETE	GYP GYPSUM	POLY POLYESTER OR POLYOLEFIN	TYP TYPICAL
CONT CONTINUOUS	HC HANDICAP	PSF POUNDS PER SQUARE FOOT	UL UNDERWRITERS LABORATORY
CONST CONSTRUCTION	HDR HEADER	PSI POUND PER SQUARE INCH	UNO UNLESS NOTED OTHERWISE
COORD COORDINATE	HDW HARDWARE	PT PRESSURE TREATED/ POINT	VB VINYL
CG CORNERGUARD	HM HOLLOW METAL	PVT PAVEMENT	VCT VINYL COMPOSITION TILE
CPT CARPET	HORIZ HORIZONTAL	PRV PRIVATE	VERT VERTICAL
CMT CASEMENT	HR HOUR	QTY QUANTITY	VEST VESTIBULE
CT CERAMIC TILE	HT HEIGHT	QTR QUARTER	VF VERIFY IN FIELD
CTOP COUNTERTOP	HTD HEATED	QTY QUANTITY	VP VENER PLASTER
D DEEP	HVAC HEATING VENTILATION AIR	R RADIUS	VR VAPOR RETARDER
DF DRINKING FOUNTAIN	COND CONDITIONING	RA RETURN AIR	VRV VARIABLE REFRIGERANT FLOW
DH DOUBLE HUNG	ID INSIDE DIAMETER	RB RUBBER BASE	VT VINYL TILE
DM(S) DIMENSIONS	INFO INFORMATION	RD ROOF DRAIN	VVC VINYL WALL TILE
DISP DISPENSER	ISO INSULATION	REC RECYCLED	W WIDE OR WEST
DN DOWN	INSUL INSULATE/ INSULATION	REF REFERENCE	WC WATER CLOSET
DR DOOR	INT INTERIOR	REFRIG REFRIGERATOR/	WD WOOD
DS DOWNPOUT	INV INVERT	REFRIG REFRIGERATION	WDW WINDOW
DTL DETAIL	JT JOINT	REIN REINFORCE(D)	WG WALL GUARD
DWG DRAWING	J-BOX JUNCTION BOX	REQD REQUIRED	WH WATER HEATER
E EAST	KIT KITCHEN	RM ROOM	WIN WITHIN
(E) EXISTING	L LONG/ LENGTH	RO ROUGH OPENING	W/O WITHOUT
EA EACH	LAM LAMINATE(D)	ROW RIGHT OF WAY	WP WATERPROOF
EC EXISTING COLUMN	LAV LAVATORY	R RESTROOM	WR WATER RESISTANT
EJ EXPANSION JOINT	LF LINEAR FEET	S SOUTH	WF WELDED WIRE FABRIC
ELEC ELECTRICAL	LT LIGHT	SC SOLID CORE	# NUMBER OR POUND
EL ELEVATION	MAS MASONRY	SCHED SCHEDULE	@
ELEV ELEVATOR	MATL MATERIAL	SECT SECTION	AT
EQ EQUAL	MAX MAXIMUM	SF SQUARE FEET	

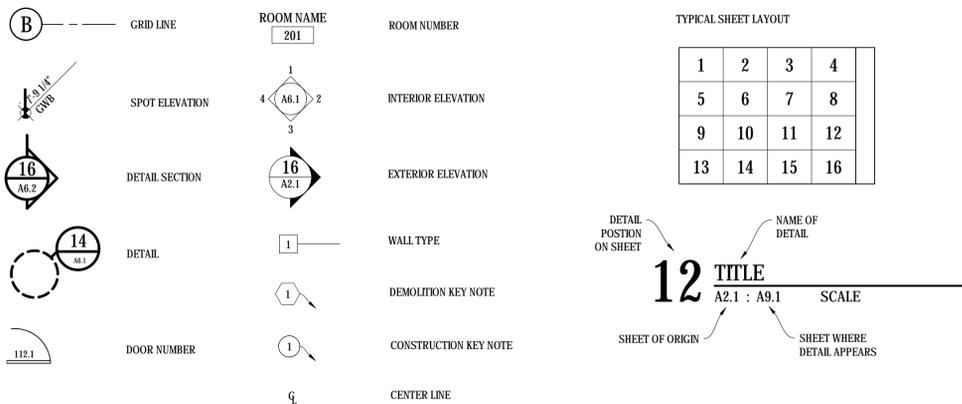
GENERAL PROJECT NOTES AND DEFINITIONS

- EVERY ATTEMPT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE DRAWINGS THROUGH EXISTING AS-BUILT DATA AND FIELD VERIFICATION. CONTRACTOR RESPONSIBLE TO VERIFY EXISTING CONDITIONS BEFORE CONSTRUCTION / ORDERING / INSTALLATION & NOTIFY ARCHITECT OF DISCREPANCIES.
- DRAWINGS ARE ABBREVIATED IN NATURE. CONTRACTOR IS EXPECTED TO USE QUALITY, ACCEPTABLE STANDARD CONSTRUCTION PRACTICES & TECHNIQUES. CONTRACTOR SHALL BE COGNIZANT THAT THIS IS A BUILDING RENOVATION PROJECT REQUIRING ADDITIONAL WORK NOT SPECIFICALLY INDICATED ON THE DRAWINGS, CERTAIN ITEMS CANNOT BE FULLY INDICATED OR EXPLAINED ON THE DRAWINGS REQUIRING FIELD OBSERVATIONS OF CONDITIONS.
- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STANDARDS & REGULATIONS AS PRESCRIBED BY THE 2015 INTERNATIONAL EXISTING BUILDING CODE, ALL APPLICABLE PLUMBING CODES, ALL APPLICABLE MECHANICAL CODES, ALL APPLICABLE ELECTRICAL CODES, ALL APPLICABLE FIRE CODE. ADDITIONALLY, ALL CONSTRUCTION SHALL MEET OR EXCEED THE REQUIREMENTS SET FORTH BY THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE. (2015 IECC) .
- MECHANICAL / PLUMBING / ELECTRICAL SHALL BE COORDINATED AND INSTALLED BY CONTRACTOR TO BE CONSISTENT WITH THE INTENT OF THE DRAWINGS AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
- CONTRACTOR RESPONSIBLE FOR DOCUMENTATION OF ACCURATE AS-BUILTS INFORMATION / DRAWINGS AT THE CONCLUSION OF THE PROJECT FOR SUBMITTAL TO THE ARCHITECT AND OWNER.
- CONTRACTOR TO MAINTAIN INTEGRITY OF EXISTING BUILDING / SYSTEMS AT ALL TIMES. NOTIFY OWNER BEFORE COMPROMISING ANY SYSTEM DUE TO THE (N) CONSTRUCTION. SOME DEMOLITION / CONSTRUCTION MAY BE REQUIRED TO BE PERFORMED AFTER BUSINESS HOURS - COORDINATE W/ OWNER.
- DO NOT SCALE FROM DRAWINGS. IF A DIMENSION DOES NOT EXIST OR IS IN ERROR, CONTACT THE ARCHITECT FOR WRITTEN CLARIFICATION.
- CONTRACTOR SHALL GUARANTEE THEIR WORK FOR A PERIOD OF NO LESS THAN ONE YEAR FROM THE DATE SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL SUPPLY ALL PARTS, MATERIALS & LABOR ASSOCIATED WITH COMPLETING THIS PROJECT, UNLESS OTHERWISE NOTED.
- "TYPICAL" OR "TYP." AS USED IN THESE DOCUMENTS SHALL MEAN: THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS, U.N.O.
- "IN-KIND" AS USED IN THESE DOCUMENTS SHALL MEAN: NEW MATERIAL INDICATED TO MATCH IN-KIND SHALL REPLICATE EXACTLY, IN EVERY REGARD, THE ORIGINAL DETAIL, MATERIAL, TYPE AND FINISH OF ELEMENT TO BE REPLACED AS DETERMINED BY THE ARCHITECT.
- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE. COORDINATE ALL WORK NECESSARY TO ACHIEVE SAME.
- ALL DIMENSIONS ARE FINISH FACE TO FINISH FACE U.N.O.

HISTORICAL NOTE

THE FLORENCE HOTEL IS RECOGNIZED AS AN HISTORIC BUILDING ON THE NATIONAL REGISTER OF HISTORIC PLACES. THE CONTRACTOR SHALL PROTECT ADJACENT HISTORIC FABRIC DURING THE WORK INDICATED HEREIN, TYPICALLY FOR THE FLORENCE BUILDING AND SITE.

EXPLANATION OF SYMBOLS



THE FLORENCE BUILDING

ALPS ROOF DECK

111 N. HIGGINS AVE. MISSOULA, MONTANA 59802

46° 52' 13.58" NORTH 113° 59' 44.68" WEST ELEV: 3,198'
GEOCODE: 04-2200-22-2-19-03-0000

DRAWING INDEX

ARCHITECTURAL	
CVR	COVER SHEET
A1.1	ARCHITECTURAL SITE PLAN
D2.1	DEMOLITION PLAN & PHOTOGRAPHS
D8.1	DEMOLITION VERTICAL CIRCULATION
A2.1	CONSTRUCTION PLAN
A8.1	STAIR SECTIONS
A9.1	DOOR & FINISH SCHEDULES
STRUCTURAL	
MECHANICAL & PLUMBING	
MP2.3	ROOF DECK PLANS & SECTION
ELECTRICAL	
E0.1	GENERAL NOTES & ETC.
ED2.1	ROOF POWER & COMMUNICATIONS DEMOLITION PLAN
ED7.1	STAIRWELL & 7TH FLOOR LIGHTING DEMO PLANS
E2.1	ROOF POWER & COMMUNICATIONS PLAN
E7.1	STAIRWELL & 7TH FLOOR LIGHTING PLAN
E9.1	PANEL & LUMINAIRE SCHEDULES

PROJECT TEAM

OWNER	ARCHITECT	CONTRACTOR
ALPS FLORENCE BUILDING 111 NORTH HIGGINS AVE, SUITE 200 MISSOULA, MT 59802	A&E ARCHITECTS 222 N. HIGGINS MISSOULA, MT 59802	MARTEL CONSTRUCTION 5903 SANDPIPER MISSOULA, MT 59808
STRUCTURAL	MECHANICAL	ELECTRICAL
DCI ENGINEERS 131 WEST MAIN MISSOULA, MT 59802	JM ENGINEERS 812 TOOLE AVENUE, SUITE E MISSOULA, MT 59802	MAXUS CONSULTING ENGINEERS MISSOULA, MT 59802

PROJECT SUMMARY & CODE REVIEW

BUILDING CODE 2012 INTERNATIONAL EXISTING BUILDING CODE - (IEBC) CHAPTER 8 ALTERATIONS - LEVEL 2	EXISTING BUILDING TYPE TYPE II (EXISTING)
USE AND OCCUPANCY CLASSIFICATION GROUP(S) : ACCESSORY TO *GROUP B-2*, BUSINESS (IBC 304.1)	FIRE SUPPRESSION SYSTEM ENTIRE BUILDING : FULLY SPRINKLERED (EXISTING)
USE ZONE ZONED : CENTRAL BUSINESS DISTRICT	BUILDING HEIGHT & AREA EXISTING
OCCUPANCY SEPARATION INCIDENTAL ACCESSORY OCCUPANCIES (IBC TABLE 509): NONE	OCCUPANCY LOAD (TO BE POSTED BY MISSOULA FIRE MARSHALL AT 75 OCCUPANTS)
CONSTRUCTION TYPE TYPE II, FULLY SPRINKLERED (IBC CHAPTER 6)	
EXITS REQUIRED: COMMON PATH OF TRAVEL (SECTION 1006.2.1) MAX.100 FEET FOR GROUP "B" OCCUPANCY W/ SPRINKLER SYSTEM EXIT ACCESS TRAVEL (SECTION 1017.2) MAX. 300 FEET FOR GROUP "B" OCCUPANCY WHERE AUTOMATIC SPRINKLER SYSTEM IS PROVIDED REQUIRED NUMBER OF EXITS, OR ACCESS TO EXITS PER STORY (1006.3.1) TWO (2)	



PROJECT NO. 17019.00
DATE: 08.27.18
ISSUED FOR: PERMIT

COVER SHEET
sheet
project
owner
FLORENCE BUILDING - ALPS ROOF DECK
111 NORTH HIGGINS AVE, MISSOULA, MT 59802
ALPS, 111 NORTH HIGGINS AVE, MISSOULA, MT 59802

project # 17019

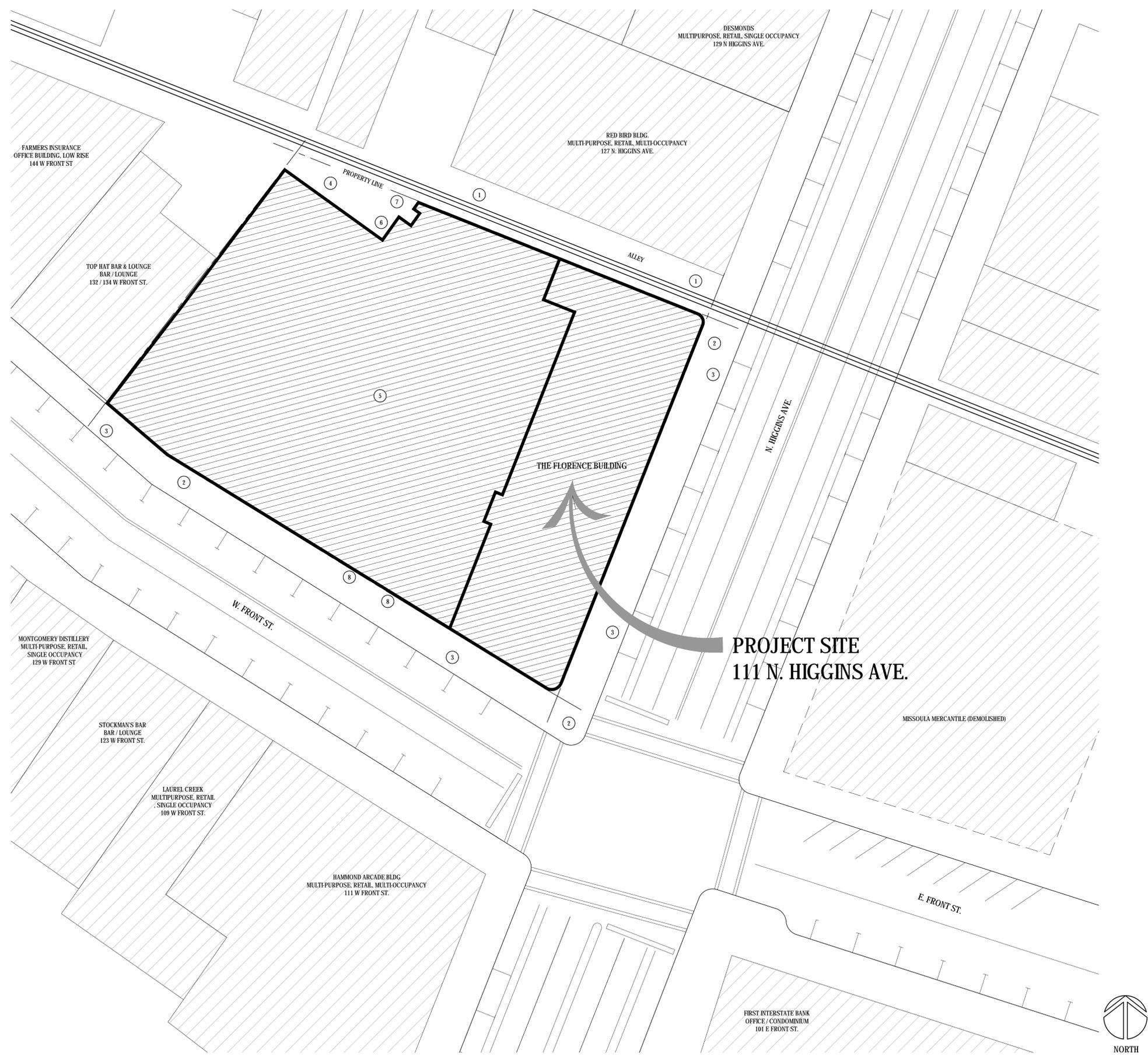
revision date

phase



issue date
08.27.18

CVR



SITE PLAN GENERAL NOTES

1. SITE PLAN IS FOR REFERENCE ONLY. VERIFY ALL UTILITIES WITH CITY AND COUNTY RECORDS. VERIFY ALL BUILDING DIMENSIONS AND BUILT ELEMENTS IN FIELD, TYP.
2. THERE ARE NO PROPOSED NEW EASEMENTS, ACCESS, OR UTILITIES.
3. THE CBD AND (E) BUILDING ARE ZERO LOT LINE.
4. NO CURBS, GUTTERS, SIDEWALKS, PARKING OR PAVING, ARE PROPOSED, THERE IS NO CHANGE TO (E) CURBS, GUTTERS & SIDEWALKS.
5. THERE IS ONE EXTERIOR LIGHT ADDED TO THE PENTHOUSE ALL OTHER EXTERIOR LIGHTING IS (E) AND SHALL REMAIN UNCHANGED BY THIS WORK.
6. THERE ARE NO SITE ALTERATIONS OR LANDSCAPING CHANGES.
7. THERE IS NO CHANGE TO THE (E) TRASH STORAGE.

SITE PLAN KEY NOTES

- | | |
|---|--|
| 1 | (E) PAVED ALLEY |
| 2 | (E) PAVED SIDEWALK |
| 3 | (E) BICYCLE RACK OCCUR TO MULTIPLE LOCATIONS ON THE SIDEWALK |
| 4 | (E) TRASH CONTAINERS |
| 5 | (E) SECOND FLOOR ROOF, BELOW |
| 6 | (E) GAS METER |
| 7 | (E) DELIVERY ACCESS |
| 8 | (E) AUTO-SPRINKLER FIRE DEPT. CONNECTION |

sheet ARCHITECTURAL SITE PLAN
 project FLORENCE BUILDING - ALPS ROOF DECK
 111 NORTH HIGGINS AVE, MISSOULA, MT 59802
 owner ALPS, 111 NORTH HIGGINS AVE, MISSOULA, MT 59802

project #	17019
revision	date
phase	



issue date
08.27.18

A1.1



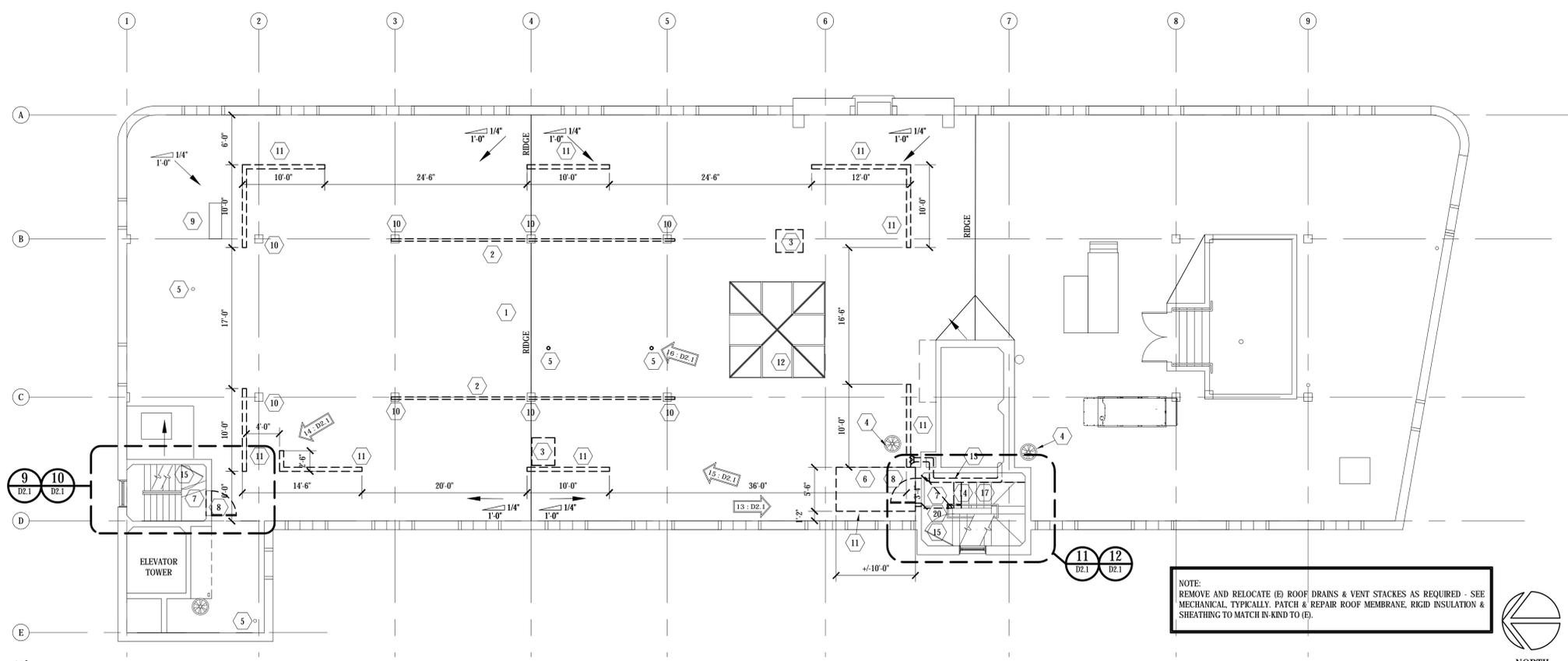


GENERAL DEMO NOTES

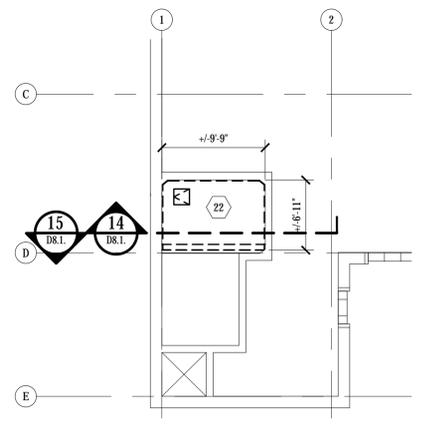
- COORDINATE INFORMATION INDICATED WITH ALL DRAWINGS FOR ADDITIONAL INFORMATION NOT INDICATED ON THIS SHEET.
- NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF DEMOLITION & (N) CONSTRUCTION WORK.
- FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS. DIMENSIONS INDICATED ARE FOR REFERENCE ONLY. FIELD CONDITIONS MAY VARY.
- (N) SURFACES SHALL ALIGN WITH (E) ADJACENT SURFACES EVEN & FLUSH UNLESS NOTED OTHERWISE.
- PATCH AND REPAIR (E) SURFACES AS NECESSARY TO PROVIDE SUITABLE SUBSTRATE FOR (N) FINISHES OR FINISHED APPEARANCE OF (E) SURFACE TO REMAIN.
- MATCH HISTORIC CONDITION IN-KIND WHERE (N) FINISH AND/OR MATERIAL ADJOIN (E) - ENSURING A UNIFORM APPEARANCE & SEAMLESS TRANSITION.
- ALL DIMENSION ARE FROM FINISHES FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- PROTECT (E) ROOF MEMBRANE & (E) BUILT ELEMENTS & FINISHES TO REMAIN, TYP.
- ←XXXXX REFERENCE TO A DEMOLITION PHOTOGRAPH

DEMO KEY NOTES

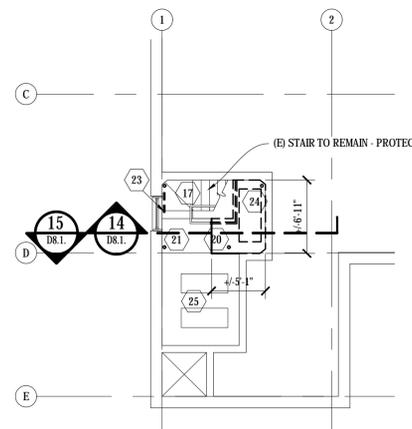
- | | |
|----|--|
| 1 | (E) ROOF MEMBRANE - PROTECT DURING WORK. |
| 2 | REMOVE (E) STEEL BEAMS, TYPICALLY. |
| 3 | REMOVE (E) ROOF ACCESS HATCH, TYPICALLY. PATCH AND REPAIR ROOF AND MEMBRANE AS REQUIRED, FIELD COORDINATE. |
| 4 | (E) ROOF DRAIN, FIELD COORDINATE W/ (N) CONSTRUCTION, TYPICALLY. |
| 5 | REMOVE AND RELOCATE (E) VENT STACK, REFERENCE MECHANICAL, TYPICALLY. PATCH AND REPAIR ROOF AND MEMBRANE AS REQUIRED, TYPICALLY. |
| 6 | REMOVE (E) ROOF MEMBRANE, RIGID INSULATION, SHEATHING, & FRAMING AS REQUIRED COORDINATE EXTENTS WITH (N) CONSTRUCTION & DECK HEIGHT. |
| 7 | REMOVE (E) DOOR, FRAME AND HARDWARE. |
| 8 | SAWCUT (E) CONCRETE AS REQUIRED FOR (N) DOOR AND/OR OPENING, COORDINATE WITH (N) CONSTRUCTION. |
| 9 | (E) MECHANICAL EQUIPMENT, PROTECT. |
| 10 | (E) CONCRETE PIERS, PREP FOR (N) FINISH. |
| 11 | REMOVE (E) MEMBRANE ROOF, RIGID INSULATION, DECK AND FRAMING AS REQUIRED TO COORDINATE INSTALLATION OF (N) WALL FRAMING, TYPICALLY. |
| 12 | (E) SKYLIGHT - PROTECT. |
| 13 | REMOVE AND RELOCATE (E) FIRE STAND PIPE - FIELD COORDINATE CONDITIONS. |
| 14 | DEMO (E) CONCRETE STAIR - 3 RISERS AND LANDING. |
| 15 | (E) STEEL GATE TO MACHINE ROOM TO REMAIN |
| 16 | DEMO (E) PLASTER AND BLOCK WALL TO MATCH SIMILAR STAIR CONDITIONS. |
| 17 | (E) GUARDRAIL - PROTECT, COORDINATE WITH (N) WORK |
| 18 | (E) MACHINE ROOM - NO WORK |
| 19 | DEMO CONCRETE AS REQUIRED FOR STAIR HEADROOM CLEARANCE |
| 20 | REMOVE (E) GUARDRAIL - COORDINATE W/ (N) WORK. |
| 21 | DEMO (E) TUBE STEEL PIPE & BEAM SUPPORTING WOOD FLOOR ABOVE, TYP. |
| 22 | DEMO (E) WOOD FLOOR IN ITS ENTIRETY |
| 23 | DEMO ACCESS LADDER |
| 24 | DEMO (E) EXPANSION TANK & ASSOCIATED PIPING - SEE MECHANICAL. |
| 25 | (E) ELEVATOR EQUIPMENT - PROTECT |



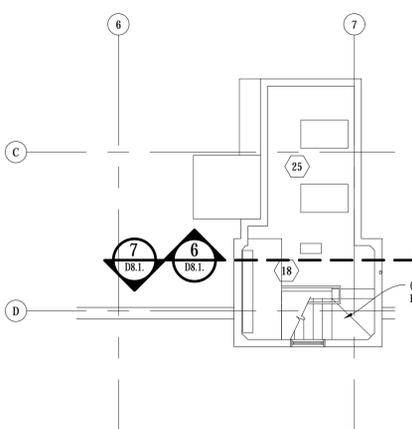
5 DEMOLITION ROOF DECK PLAN
D2.1 : D2.1 1/8" = 1'-0"



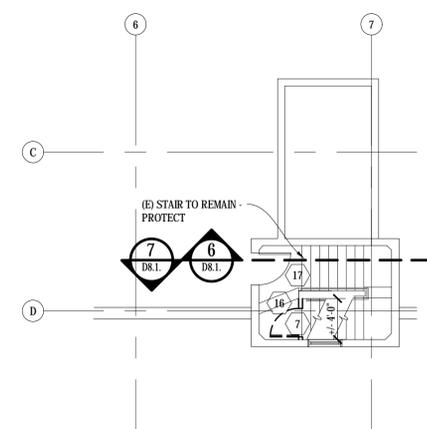
9 NORTH STAIR ATTIC
D2.1 : D2.1 1/8" = 1'-0"



10 NORTH STAIR MACHINE ROOM
D2.1 : D2.1 1/8" = 1'-0"



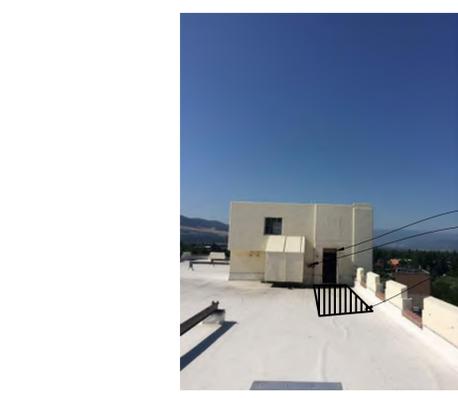
11 CENTRAL STAIR MACHINE ROOM
D2.1 : D2.1 1/8" = 1'-0"



12 CENTRAL STAIR 7TH FLOOR
D2.1 : D2.1 1/8" = 1'-0"

sheet DEMOLITION ROOF PLAN
 project FLORENCE BUILDING - ALPS ROOF DECK
 111 NORTH HIGGINS AVE, MISSOULA, MT 59802
 owner ALPS, 111 NORTH HIGGINS AVE, MISSOULA, MT 59802

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13 CENTRAL STAIR EXIT
D2.1 : D2.1 PHOTOGRAPH



14 NORTH STAIR EXIT
D2.1 : D2.1 PHOTOGRAPH



15 EXISTING CONCRETE PIERS
D2.1 : D2.1 PHOTOGRAPH



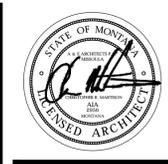
16 EXISTING VENT PIPE
D2.1 : D2.1 PHOTOGRAPH

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issue date
08.27.18

D2.1

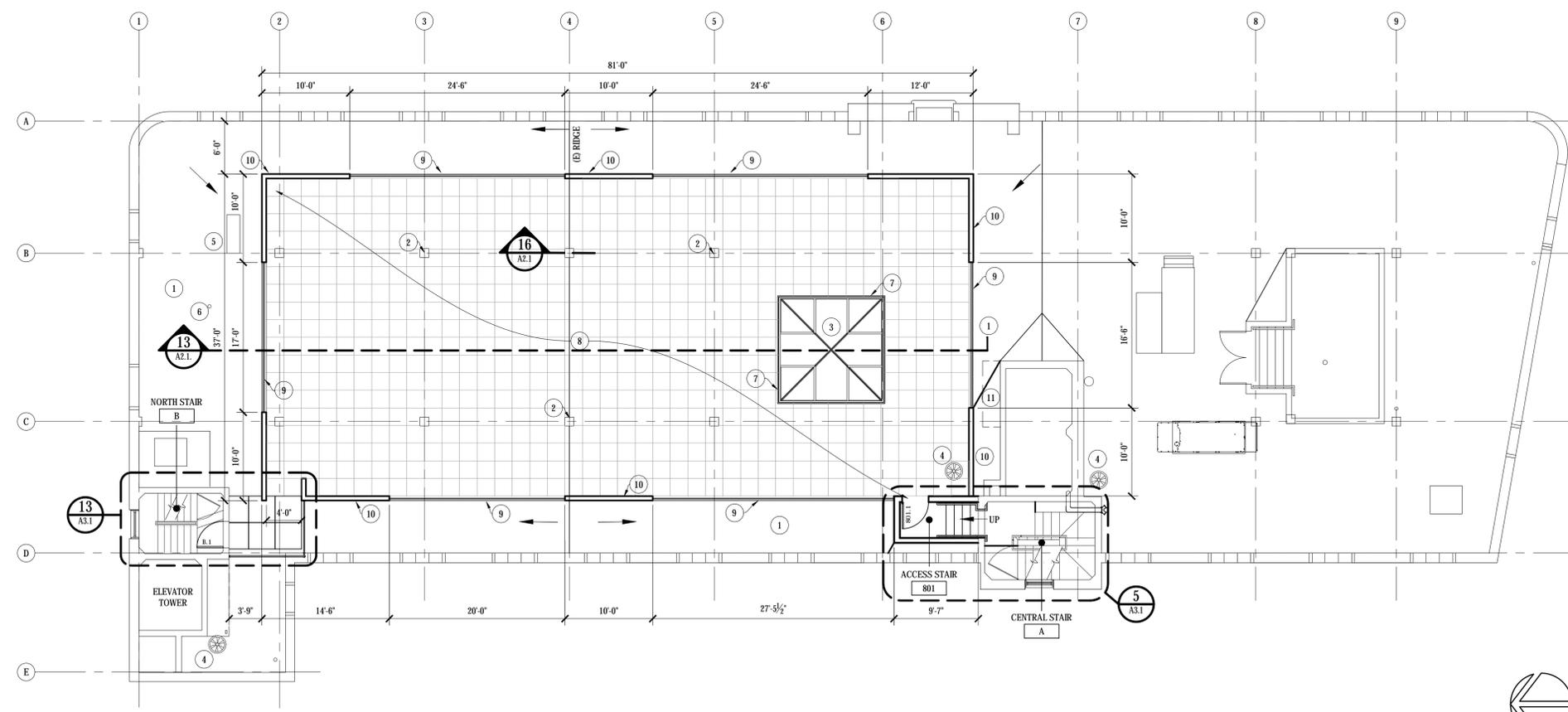


CONSTRUCTION GENERAL NOTES

- COORDINATE WORK INDICATED WITH ALL DRAWINGS FOR ADDITIONAL INFORMATION NOT INDICATED ON THIS SHEET.
- NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF (N) CONSTRUCTION.
- FIELD VERIFY DIMENSIONS. DO NOT SCALE DRAWINGS. DIMENSIONS INDICATED ARE FOR REFERENCE ONLY. FIELD CONDITIONS MAY VARY.
- (N) SURFACES SHALL ALIGN WITH (E) ADJACENT SURFACES EVEN & FLUSH UNLESS NOTED OTHERWISE.
- PATCH AND REPAIR (E) SURFACES AS NECESSARY TO PROVIDE SUITABLE SUBSTRATE FOR (N) FINISHES OR FINISHED APPEARANCE OF (E) SURFACE TO REMAIN.
- MATCH HISTORIC CONDITION 'IN-KIND' WHERE (N) FINISH AND/OR MATERIAL ADJOIN (E) - ENSURING A UNIFORM APPEARANCE & SEAMLESS TRANSITION.
- ALL DIMENSION ARE FROM FINISHES FACE TO FINISHED FACE, UNLESS NOTED OTHERWISE.
- PROTECT (E) ROOF MEMBRANE & (E) BUILT ELEMENTS & FINISHES TO REMAIN, TYP.
- REFERENCE MECHANICAL FOR (N) ROOF VENT STACK LOCATION(S) AND ROUTING (E) ROOF VENT STACKS, TYPICALLY.

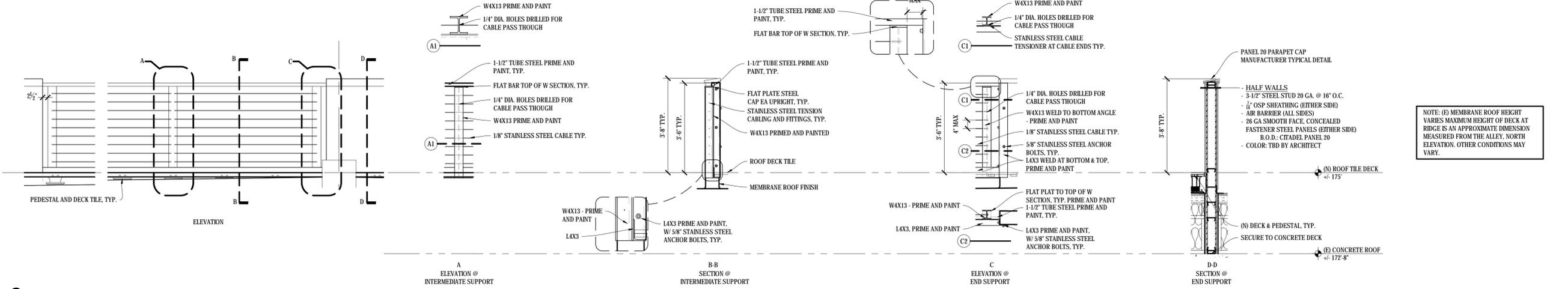
CONSTRUCTION KEY NOTES

- | | |
|----|--|
| 1 | (E) ROOF MEMBRANE - PROTECT |
| 2 | (E) CONCRETE PIERS (8 LOCATIONS), PREP, CLEAN, PRIME AND PAINT, COLOR TO BE SELECTED |
| 3 | (E) SKYLIGHT - PROTECT. |
| 4 | (E) ROOF DRAIN, COORDINATE WITH (N) WORK. |
| 5 | (E) MECHANICAL EQUIPMENT, PROTECT. |
| 6 | (E) VENT STACK, COORDINATE WITH MECHANICAL DWGS. |
| 7 | (N) TUBE STEEL GUARDRAIL SURROUNDING SKYLIGHT, PRIME AND PAINT. |
| 8 | BASIS OF DESIGN:
(N) 2" X 2" DECK TILES W PEDESTALS BY BISON INNOVATIVE PRODUCTS, VERSADJUST PEDESTALS WITH 2" X 2" CUMARU WOOD TILE DECK |
| 9 | (N) STAINLESS STEEL TENSION CABLE GUARD RAIL WITH INTERMEDIATE STEEL POSTS WELDED TO CHANNEL SUSPENDED ABOVE MEMBRANE ROOF BETWEEN (N) SOLID GUARD RAILS, TYPICALLY. |
| 10 | (N) STEEL STUD WALL FRAMING SECURED TO (E) CONCRETE ROOF. FINISH WALLS TO MATCH PENTHOUSE, TYPICALLY. |
| 11 | INSTALL (N) TAPERED ROOF INSULATION TO DIRECT DRAINAGE AS REQUIRED COORDINATE WITH (N) & (E) CONDITIONS, TYPICALLY. |



5 ROOF DECK CONSTRUCTION PLAN

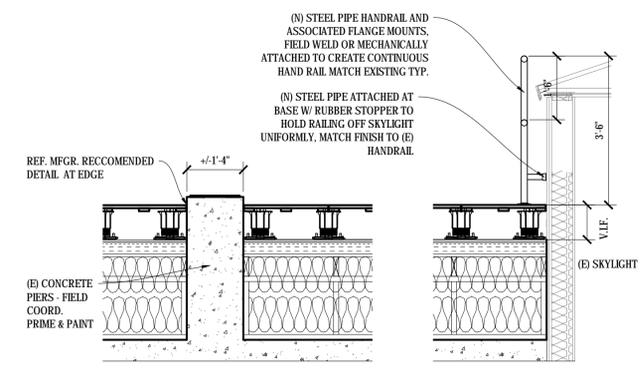
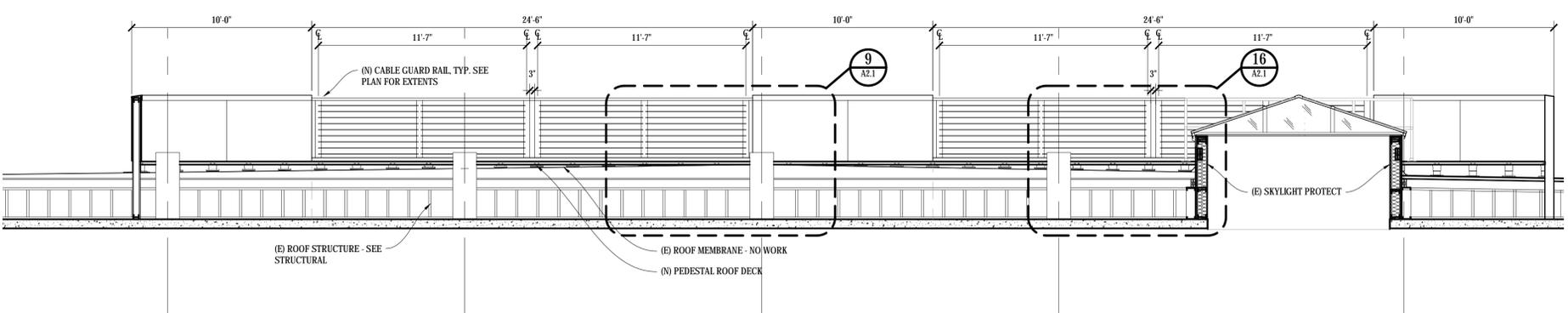
A2.1 : A2.1 1/8" = 1'-0"



NOTE: (E) MEMBRANE ROOF HEIGHT VARIES MAXIMUM HEIGHT OF DECK AT RIDGE IS AN APPROXIMATE DIMENSION MEASURED FROM THE ALLEY, NORTH ELEVATION. OTHER CONDITIONS MAY VARY.

9 CABLE GUARD RAIL TYP.

A2.1 : A2.1 1/2" = 1'-0"



13 N-S DECK SECTION

A2.1 : A2.1 1/4" = 1'-0"

16 (N) DECK TILES AT (E) PIERS

A2.1 : A2.1 1/2" = 1'-0"

sheet ROOF DECK PLAN AND DETAILS
 project FLORENCE BUILDING - ALPS ROOF DECK
 111 NORTH HIGGINS AVE, MISSOULA, MT 59802
 owner ALPS, 111 NORTH HIGGINS AVE, MISSOULA, MT 59802

project #	17019
revision	date
phase	



issue date
08.27.18

A2.1

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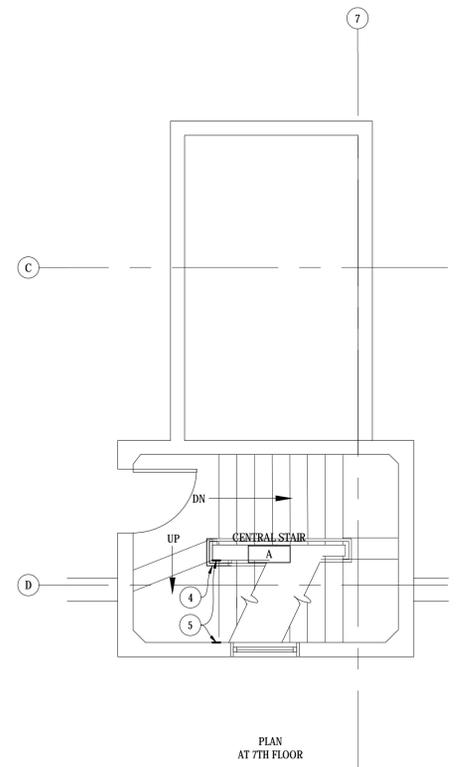
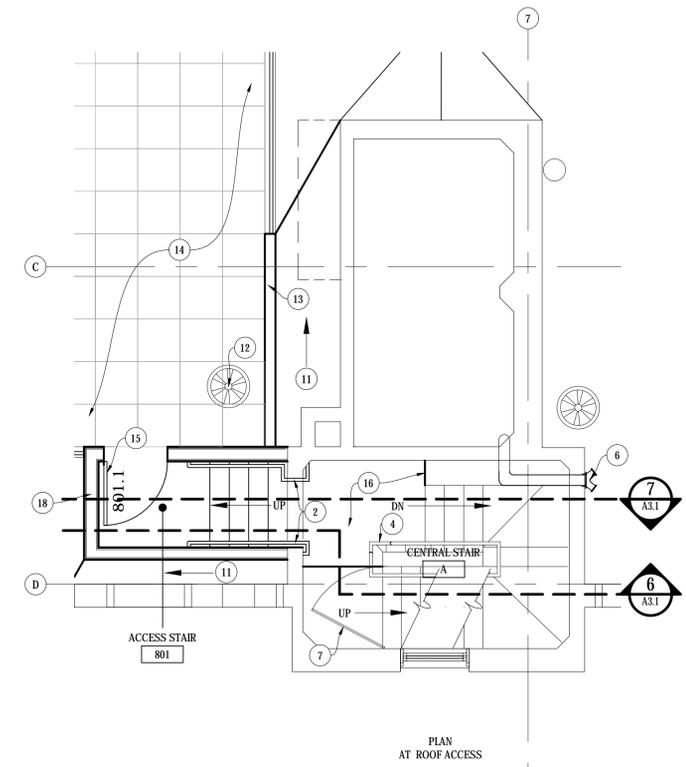
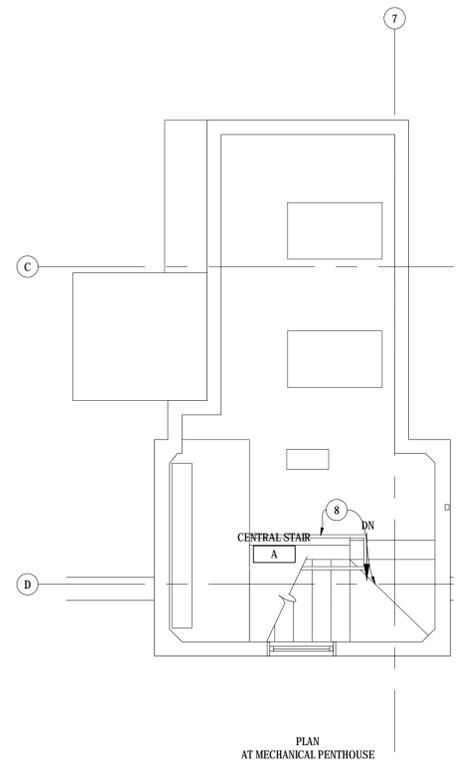


GENERAL NOTES

1. COORDINATE INFORMATION INDICATED WITH ALL DRAWINGS WITH MECHANICAL, ELECTRICAL AND STRUCTURAL.
2. NOTIFY ARCHITECT OF DISCREPANCY PRIOR TO COMMENCEMENT OF DEMOLITION & (N) CONSTRUCTION.
3. VERIFY DIMENSIONS INDICATED, DO NOT SCALE DRAWINGS. DIMENSIONS INDICATED ARE FOR REFERENCE ONLY, FIELD CONDITIONS MAY VARY.
4. PATCH AND REPAIR (E) SURFACES AS NECESSARY TO PROVIDE SUITABLE SUBSTRATE FOR (N) FINISHES OR FINISHED APPEARANCE OF (E) SURFACE TO REMAIN.
5. PROTECT (E) ROOF AND OTHER BUILT ELEMENTS & FINISHES TO REMAIN, TYP.

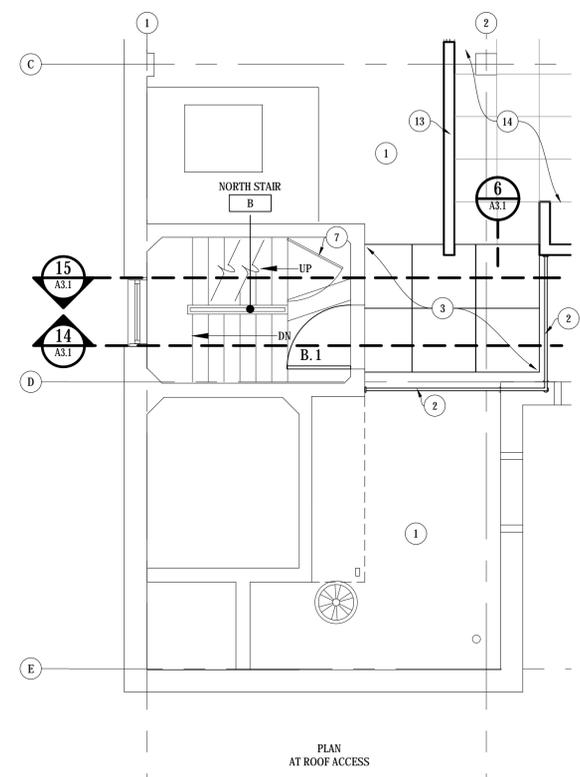
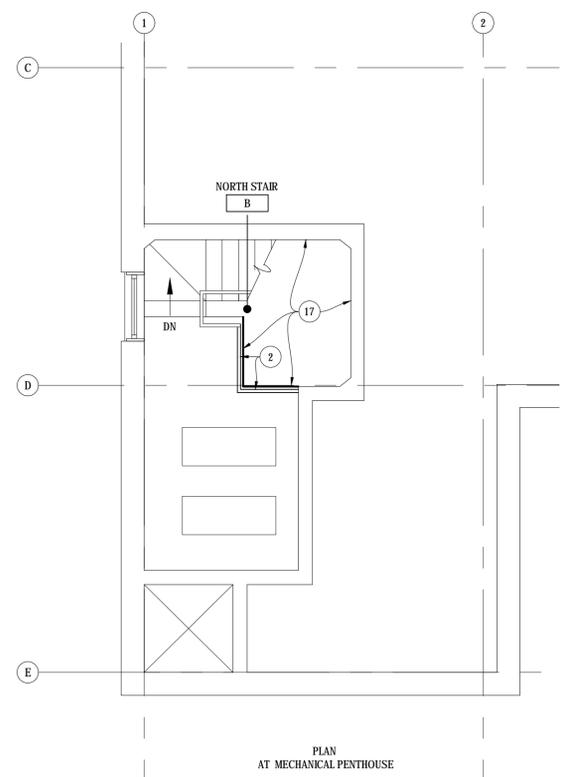
CONSTRUCTION KEY NOTES

- | | |
|----|--|
| 1 | (E) ROOF MEMBRANE - PROTECT |
| 2 | (N) STEEL PIPE HANDRAIL, MATCH (E) HANDRAIL, FLANGE ATTACHMENT METHOD AT STAIR, PAINT PRIME AND FINISH. |
| 3 | (N) 3'-0" X 3'-0" RUBBER ROOF EQUIPMENT UTILITY PADS, BLACK |
| 4 | (N) STEEL PIPE HANDRAIL AND ASSOCIATED FLANGE MOUNTS, AT (E) HANDRAIL FIELD WELD OR MECHANICALLY ATTACHED TO CREATE CONTINUOUS HAND RAIL TYP. |
| 5 | PATCH (E) WALL TYPICALLY, PAINT PRIME FINISH TO MATCH (E) |
| 6 | RELOCATE (E) FIRE SPRINKLER RISER COORDINATE WITH MECH. |
| 7 | (E) LOCKABLE MECH. PENTHOUSE ACCESS GATE REQUIRED TO CONTROL ACCESS TO THE MECHANICAL ROOM, SALVAGE (E) IF POSSIBLE, CONTRACTOR TO COORDINATE WITH ARCHITECT BASED ON DEMOLITION OF ADJACENT MATERIALS |
| 8 | (E) GUARD RAIL AND STAIR, NO WORK |
| 9 | (N) STAINLESS STEEL TENSION CABLE GUARD RAIL WITH INTERMEDIATE STEEL POSTS WELDED TO CHANNEL, SUSPENDED ABOVE MEMBRANE ROOF BETWEEN (N) SOLID GUARD RAILS, TYPICALLY. |
| 10 | (N) STEEL STUD WALL FRAMING SECURED TO (E) CONCRETE ROOF, FINISH WALLS TO MATCH PENTHOUSE, TYPICALLY. |
| 11 | INSTALL (N) TAPERED ROOF INSULATION & MEMBRANE ROOF SLOPE TO DIRECT DRAINAGE AS REQUIRED COORDINATE WITH (N) & (E) CONDITIONS, TYPICALLY. |
| 12 | (E) ROOF DRAIN BELOW NEW DECK |
| 13 | (N) HALF WALL REF. 9/A2.1 |
| 14 | (N) ROOF DECK REF. 5/A2.1 |
| 15 | (N) DOOR FRAME, AND HARDWARE AS SCHEDULED |
| 16 | PRIME AND PAINT CONCRETE STAIRS - COLOR TO MATCH EXISTING, TYP. |
| 17 | PRIME AND PAINT WALLS AND CEILINGS COLOR TO MATCH EXISTING |
| 18 | (N) STEEL STUD FRAMED, INSULATED AND FINISH VESTIBULE AT CENTRAL STAIR REF. 6 & 7/A8.1 |



5 ENLARGED PLANS CENTRAL STAIR

A3.1 : A3.1 1/4" = 1'-0"



13 ENLARGED PLANS NORTH STAIR

A3.1 : A3.1 1/4" = 1'-0"

sheet ENLARGED STAIR TOWER PLANS
 project FLORENCE BUILDING - ALPS ROOF DECK
 111 NORTH HIGGINS AVE, MISSOULA, MT 59802
 owner ALPS, 111 NORTH HIGGINS AVE, MISSOULA, MT 59802

project # 17019
 revision _____ date _____
 phase _____



issue date
 08.27.18

A3.1

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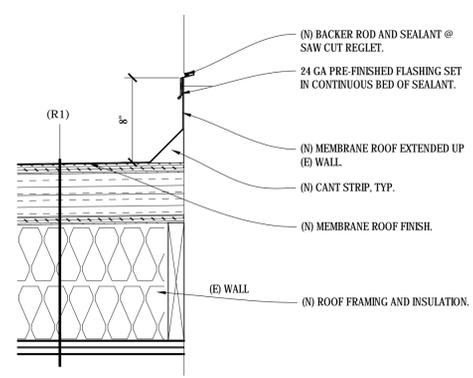
sheet
 project
 owner
 CONSTRUCTION VERTICAL CIRCULATION
FLORENCE BUILDING - ALPS ROOF DECK
 111 NORTH HIGGINS AVE, MISSOULA, MT 59802
 owner ALPS, 111 NORTH HIGGINS AVE, MISSOULA, MT 59802

project #	17019
revision	date
phase	

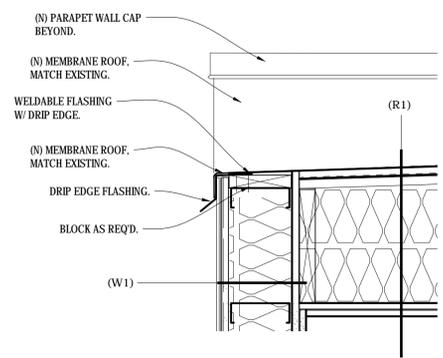


issue date
08.27.18

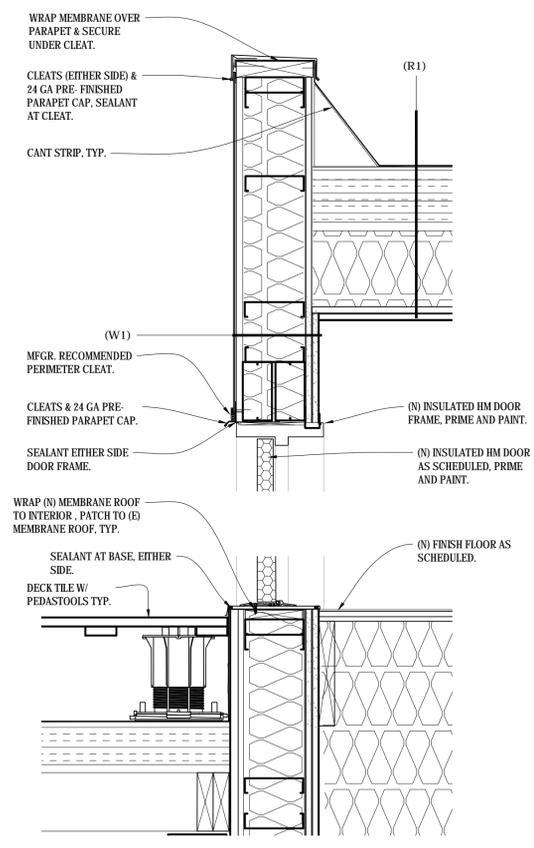
A8.1



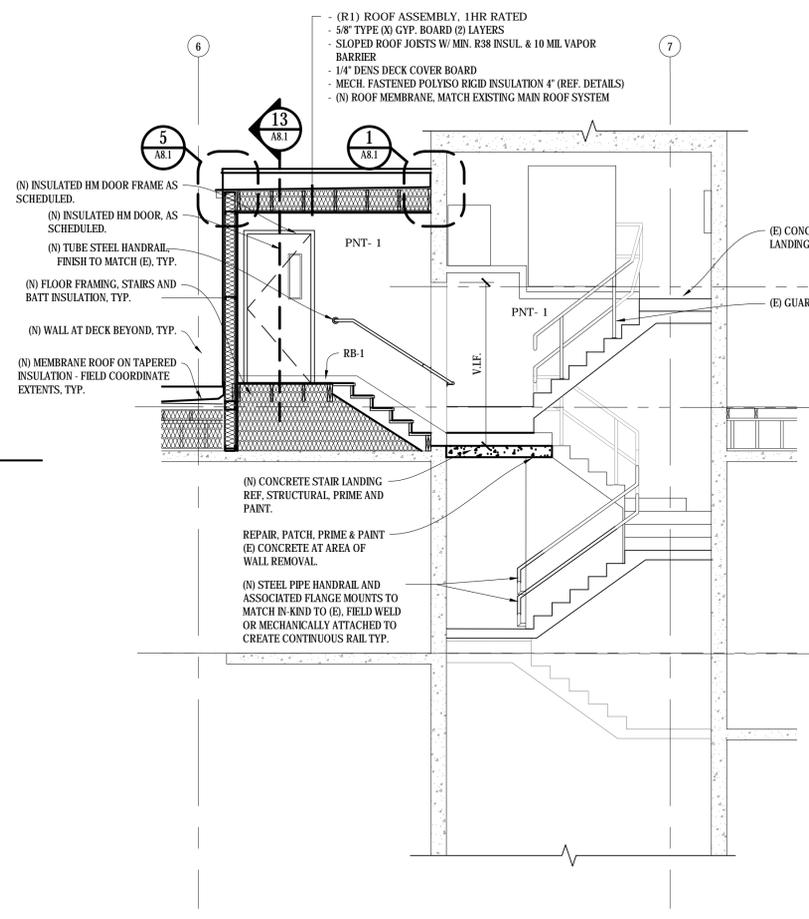
1 REGLET CONDITION AT (E) WALL
A8.1 : A8.1 1-1/2" = 1'-0"



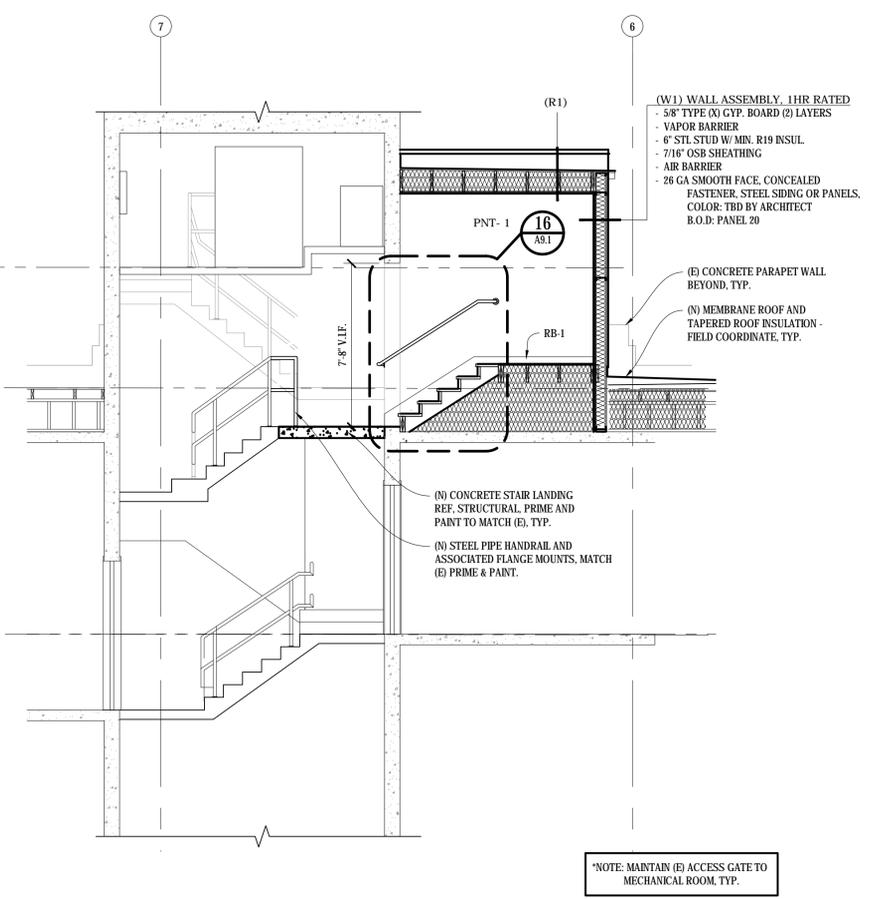
5 ROOF AT DRIP EDGE
A8.1 : A8.1 1-1/2" = 1'-0"



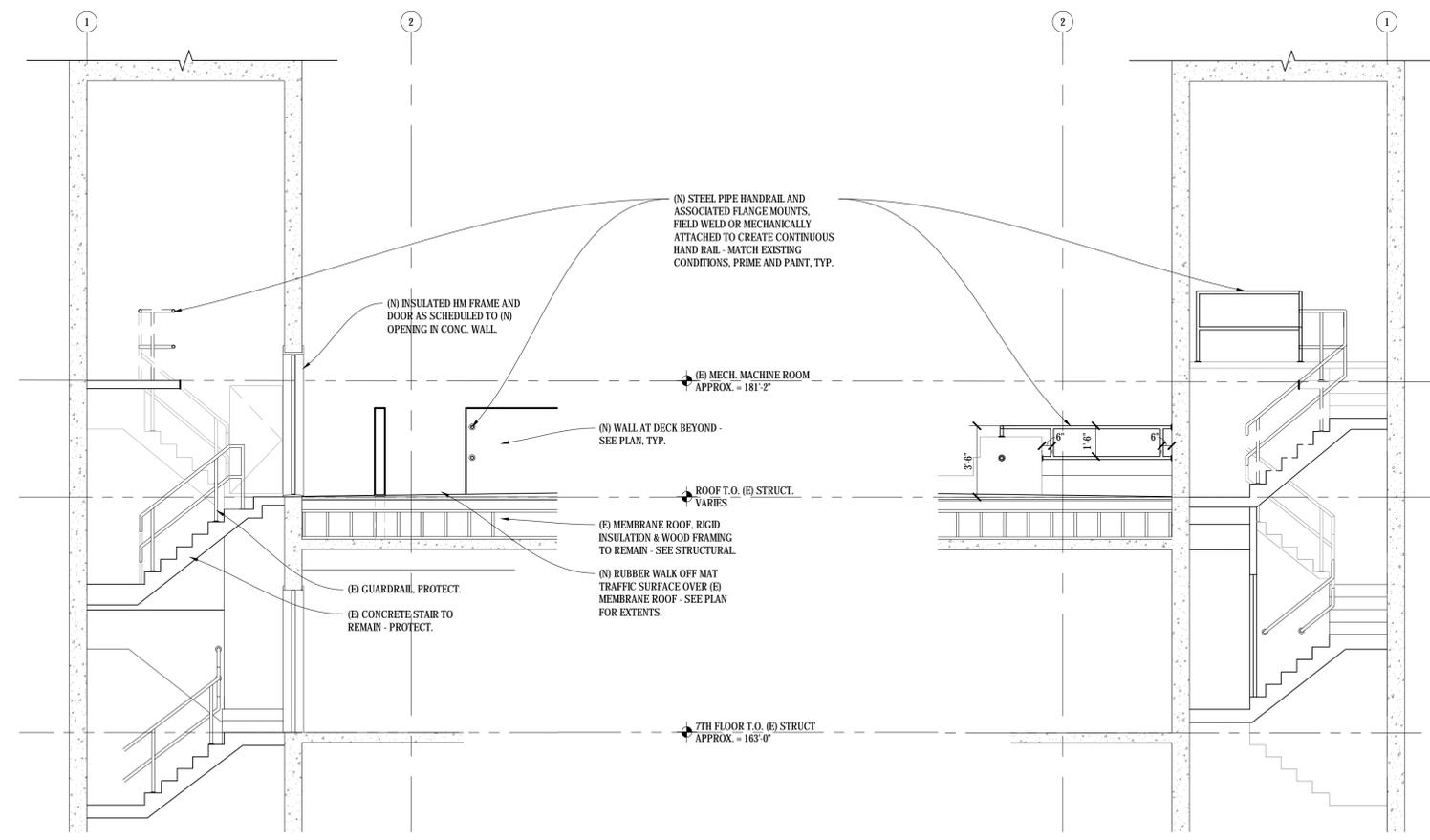
13 ROOF AT PARAPETE AND DOOR
A8.1 : A8.1 1-1/2" = 1'-0"



6 SECTION AT CENTRAL STAIR
A3.1 : A8.1 1/4" = 1'-0"



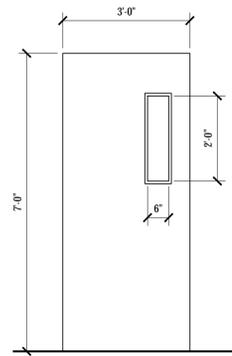
7 SECTION AT CENTRAL STAIR
A3.1 : A8.1 1/4" = 1'-0"



14 SECTION AT NORTH STAIR
A3.1 : A8.1 1/4" = 1'-0"

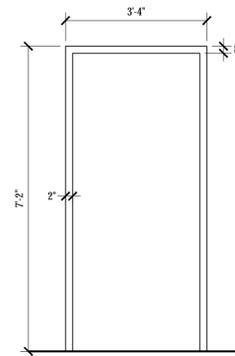
15 SECTION AT NORTH STAIR
A3.1 : A8.1 1/4" = 1'-0"

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TYPE A

INSULATED HOLLOW METAL DOOR W/
TEMPERED CLEAR I.G. GLASS



TYPE II

INSULATED HOLLOW METAL FRAME

5 DOOR & FRAME TYPES

A3.1 : A3.1 1/4" = 1'-0"

DOOR SCHEDULE											
DOOR #	NOMINAL SIZE (W X H X D)	DOOR			FRAME			HARDWARE GROUP	FIRE RATING	KEY NOTE	DOOR KEY NOTE
		TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH				
ROOF											
B.1	3'-0" X 7'-0" X 1 3/4"	A	HM	PANT	II	STEEL	PANT	1	90 MIN	1, 2, 3	INSULATED HOLLOW METAL DOOR & FRAME - COORDINATE HARDWARE WITH OWNER'S CARD READER
801.2	3'-0" X 7'-0" X 1 3/4"	A	HM	PANT	II	STEEL	PANT	1	90 MIN	1, 2, 3	INSULATED HOLLOW METAL DOOR & FRAME - COORDINATE HARDWARE WITH OWNER'S CARD READER

KEYNOTES - DOOR SCHEDULE

- FIELD COORDINATE FRAME INSTALLATION CONDITIONS WITH (E) FIELD CONDITIONS
- DOOR GLAZING TEMPERED, INSULATED GLASS AS INDICATED
- PAINT DOOR AND FRAME TO MATCH (E) DOOR & FRAME, TYPICALLY.

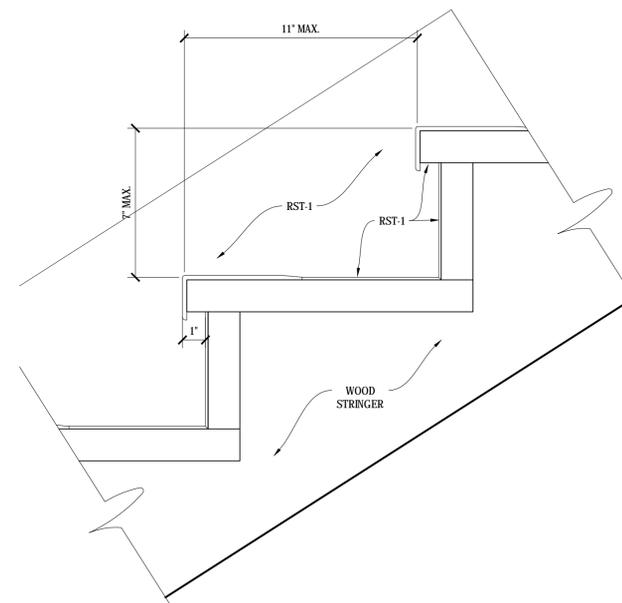
DOOR HARDWARE SCHEDULE

HARDWARE GROUP 1:
 HINGES: SCHLAGE 3/DOOR 619/626
 CLOSER: LCN 4110 HINGE SIDE PULL SIDE, PARALLEL ARM 689
 LATCH: EXTERIOR MOUNTED - VON DUPRIN 98/99 SERIES FIRE RATED EXIT DEVICE
 COORDINATED WITH OWNER'S CARD READER ACCESS HARDWARE
 SEAL: PEMKO ADHESIVE BACKED FIRE/SMOKE GASKET S88 D
 THRESHOLD: PEMKO LATCHING PANIC SADDLE 2705AT
 STOP: IVES WALL BUMPERS WS401 619

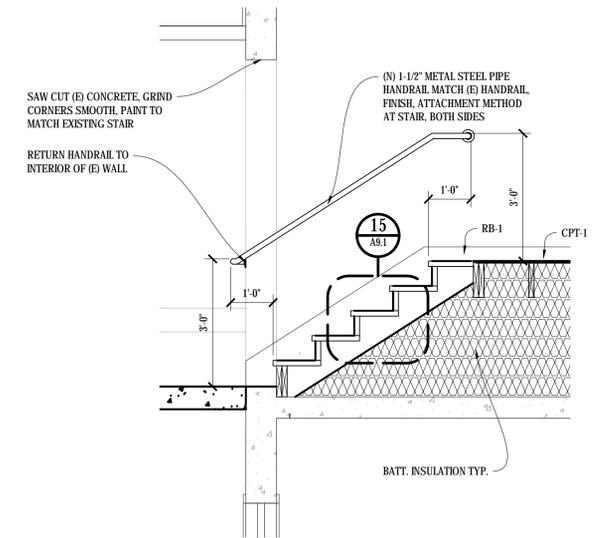
ROOM FINISH SCHEDULE											
ROOM #	ROOM NAME	FLOOR		WALLS				CEILING			REMARKS
		MAT.	BASE	NORTH	EAST	SOUTH	WEST	MAT.	HEIGHT	FINISH	
801	VESTIBULE	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	GYP	8'-0"	PNT-2	
A	SOUTH STAIR	CONCRETE	-	MATCH (E)	MATCH (E)	MATCH (E)	MATCH (E)	(E)	(E)	MATCH (E)	PAINT (N) & (E) CONCRETE FLOOR, TREADS & RISERS TO MATCH (E)
B	CENTRAL STAIR	CONCRETE	-	MATCH (E)	MATCH (E)	MATCH (E)	MATCH (E)	(E)	(E)	MATCH (E)	PAINT (N) & (E) CONCRETE FLOOR, TREADS & RISERS TO MATCH (E)

INTERIOR FINISH LEGEND*				
ELEMENT	MARK	MANUFACTURER	BASIS-OF-DESIGN	REMARKS
FLOORING	CPT-1	ENTRANCE FLOOR MAT	SUPER NOP 52 TILE - COLOR CHARCOAL	JOHNSONITE REDUCER TO CONCRETE
	RST-1	JOHNSONITE	RUBBER TREAD W/ INTEGRATED RISER, W/ VISUALLY IMPAIRED STRIP (VIRTR-RD) - BURNT UMBER 63	RAISED ROUND, W/ INTEGRATED STRINGER BASE AT STAIR TREADS
BASE	RB-1	JOHNSONITE	4" COVED BASE, COLOR: BURNT UMBER 63	
PAINT	PNT-1	SHERWIN WILLIAMS	MATCH (E) PAINT COLOR	MATCH TO (E) DOOR, DOOR FRAME & WALL COLOR
	PNT-2	SHERWIN WILLIAMS	MATCH (E) PAINT COLOR	MATCH (E) CEILING COLOR AND FINISH
	PNT-3	SHERWIN WILLIAMS	MATCH (E) PAINT COLOR	MATCH (E) FLOOR COLOR AND FINISH

* PRODUCTS LISTED ARE BASIS-OF-DESIGN, PROVIDE SUBMITTALS FOR ALL FINISHES TO ARCHITECT FOR FINAL APPROVAL, PRIOR TO APPLYING OR ORDERING, TYPICAL.



15 ACCESS STAIR DETAIL
A9.1 : A9.1 3" = 1'-0"



16 ACCESS STAIR SECTION
A8.1 : A9.1 1/2" = 1'-0"

sheet DOOR & FINISH SCHEDULE
 project FLORENCE BUILDING - ALPS ROOF DECK
 111 NORTH HIGGINS AVE, MISSOULA, MT 59802
 owner ALPS, 111 NORTH HIGGINS AVE, MISSOULA, MT 59802

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phase _____



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A9.1